



JOHNSON COUNTY COMMISSIONERS COURT

Christopher Boedeker
County Judge

Rick Bailey
Commissioner
Precinct 1

Kenny Howell
Commissioner
Precinct 2

Mike White
Commissioner
Precinct 3

Larry Woolley
Commissioner
Precinct 4

THE STATE OF TEXAS

§

ORDER 2024-43

COUNTY OF JOHNSON

§

§

ORDER APPROVING INFRASTRUCTURE DEVELOPMENT PLAN FOR VILLA DE MARIPOSAS MANUFACTURED HOME RENTAL COMMUNITY (MHRC) PURSUANT TO CHAPTER 232 OF THE TEXAS LOCAL GOVERNMENT CODE

WHEREAS, Texas Local Government Code Section 232.007 (a) defines a “Manufactured Home Rental Community” (MHRC) as a “plot or tract of land that is separated into two or more spaces or lots that are rented, leased, or offered for rent or lease, for a term of less than 60 months without a purchase option, for the installation of manufactured homes for use and occupancy as residences;” and

WHEREAS, an MHRC is not a subdivision under Section 232.007 (b); and

WHEREAS, Johnson County has exercised its authority to adopt minimum standards requiring any developer of an MHRC to submit an Infrastructure Development Plan (IDP) to the County for review and approval prior to construction and/or development in an MHRC; and

WHEREAS, pursuant to Section 232.007 (h), a utility provider may not provide utility services to an MHRC prior to the County’s approval of the IDP; and

WHEREAS, CRE-MPC Buffalo Creek Owner, LLC (Owner) has filed a proposed IDP for an MHRC identified as Villa de Mariposas and located at 1501 Park Blvd., Cleburne, Texas; and

WHEREAS, the boundaries of the proposed MHRC and described more fully in Exhibit A, which is attached hereto and incorporated herein by reference; and

WHEREAS, the proposed IDP is attached hereby as Exhibit B and incorporated by reference; and

WHEREAS, the attached IDP meets or exceeds the minimum standards adopted by Johnson County.

Filed For Record 8:48 AM

MAY 14 2024

April Long
County Clerk, Johnson County Texas

BY Carla DEPUTY

NOW THEREFORE BE IT ORDERED:

The Commissioners Court of Johnson County, Texas does hereby enter this Order finding that the proposed Infrastructure Development Plan does comply with the minimum standards adopted by Johnson County for Manufactured Home Rental Communities, approving the IDP, authorizing the Owner to begin development that is consistent with the attached IDP, and authorizing the Director of Public Works to inspect the infrastructure and issue a Certificate of Completion so long as the infrastructure passes inspection and precisely conforms with the approved IDP.

WITNESS OUR HAND THIS, THE 13TH DAY OF MAY 2024.

Christopher Boedeker, Johnson County Judge

Voted: ___ yes, ___ no, ___ abstained

Rick Bailey, Comm. Pct. 1

Voted: yes, ___ no, ___ abstained

Kenny Howell, Comm. Pct. 2

Voted: yes, ___ no, ___ abstained

Mike White, Comm. Pct. 3

Voted: yes, ___ no, ___ abstained

Larry Woolley, Comm. Pct. 4

Voted: yes, ___ no, ___ abstained

ATTEST: April Long, County Clerk



EXHIBIT A
Description of Property

FIELD NOTE description of a 42.264 acre tract of land lying within the T. H. MAGNESS Survey, Abstract No. 601 in Johnson County, Texas, and being all of the same land a called 42.213 acre tract conveyed to SDB Holdings, Inc. as described and recorded in Document Number 201300016045 of the Deed Records of Johnson County, Texas. Said 42.264 acre tract being more fully described as follows:

Bearings are based on the State Plane Coordinate System, Texas North Central Zone 4202, N.A.D. 1983.

BEGINNING at a 1/2" Iron Rod found for the Northwest corner of herein described tract, same being the Southwest corner of a called 185.059 acre tract conveyed to MAJ Holdings as described and recorded in Document Number 2021-05459 of the Deed Records of Johnson County, Texas, same point being on the East line of Park Blvd;

THENCE North 75 deg. 45 min. 29 sec. East along and with the South line of said called 185.059 acre tract a distance of 1969.10 feet to a 1/2" Iron Rod found for corner, same point being on the South line of said called 185.059 acre tract, same point also being on the West bank of Buffalo Creek, same point also being on the West line of a called 47.86 acre tract conveyed to David Reeves & Candace Reeves as described and recorded in Document Number 2019-11208 of the Deed Records of Johnson County, Texas;

THENCE along and with the West bank of Buffalo Creek as follows:
South 27 deg. 00 min. 32 sec. East a distance of 256.37 feet to a 1/2" Iron Rod found for corner;
South 02 deg. 42 min. 03 sec. East a distance of 177.43 feet to a 1/2" Iron Rod found for corner;
South 19 deg. 18 min. 12 sec. West a distance of 137.85 feet to a 1/2" Iron Rod found for corner;
South 44 deg. 19 min. 15 sec. West a distance of 156.00 feet to a 1/2" Iron Rod found for corner;
South 63 deg. 45 min. 23 sec. West a distance of 58.75 feet to a 1/2" Iron Rod found for corner;
South 65 deg. 45 min. 34 sec. West a distance of 258.43 feet to a 1/2" Iron Rod found for corner;
South 70 deg. 27 min. 52 sec. West a distance of 250.89 feet to a 1/2" Iron Rod found for corner;
South 32 deg. 04 min. 30 sec. West a distance of 57.31 feet to a 1/2" Iron Rod found for corner;
South 06 deg. 32 min. 06 sec. West a distance of 50.16 feet to a 1/2" Iron Rod found for corner;
South 03 deg. 49 min. 25 sec. East a distance of 66.13 feet to a 1/2" Iron Rod found for corner, same point being the most Westerly Northwest corner of said called 47.86 acre tract, same point also being on the North line of a called 75.000 acre tract conveyed to the City of Cleburne Texas as described and recorded in Book 2215 Page 593 of the Deed Records of Johnson County, Texas;

THENCE South 66 deg. 22 min. 30 sec. West along and with the North line of said called 75.000 acre tract a distance of 1567.55 feet to a point for corner, same point having a 3" steel post found brs: North 40 deg. 06 min. 48 sec. East a distance of 0.93 feet, same point for corner being the Northwest corner of said called 75.000 acre tract, same point also being on the East line of Park Blvd.;

THENCE North 05 deg. 33 min. 13 sec. East along and with the East line of Park Blvd. a distance of 1176.98 feet back to the POINT OF BEGINNING AND CONTAINING 42.264 ACRES OF LAND.

EXHIBIT B
CONSTRUCTION PLANS

FOR

CLEBURNE MANUFACTURED HOME COMMUNITY

JOHNSON COUNTY, TEXAS

STATE OF TEXAS
COUNTY OF JOHNSON

I hereby certify that this infrastructure development plan is true and correct and, if approved by the County Commissioners' Court, all development will be in accordance with this plan, and no alterations will be made in the plan after approval. The statements made herein are true and correct and I am aware the statements are material statements and will be relied upon by Public officials.

[Signature]
Owner or Authorized Agent



Vicinity Map
NTS



RAYMOND L. GOODSON JR., INC.

825 W. VICKERY BOULEVARD, SUITE 105
FORT WORTH, TEXAS 76104
(817) 687-0080
FIRM REG: F-493

SHEET INDEX

---	COVER SHEET
CS 00	GENERAL NOTES
CS 01	OVERALL DEMOLITION PLAN
CS 02	OVERALL SITE PLAN
CS 03	SITE DETAILS
CS 04	DRIVE A PLAN & PROFILE (SHEET 1 OF 2)
CS 05	DRIVE A PLAN & PROFILE (SHEET 2 OF 2)
CS 06	DRIVE B PLAN & PROFILE (SHEET 1 OF 2)
CS 07	DRIVE B PLAN & PROFILE (SHEET 2 OF 2)
CS 08	DRIVE C PLAN & PROFILE
CS 09	DRIVE D PLAN & PROFILE
CS 10	DRIVE E PLAN & PROFILE
CS 11	PAVEMENT TURN LANE PLAN
CS 12	OVERALL GRADING PLAN
CS 13	GRADING PLAN - SECTION A
CS 14	GRADING PLAN - SECTION B
CS 15	GRADING PLAN - SECTION C
CS 16	GRADING PLAN - SECTION D
CS 17	GRADING PLAN - SECTION E
CS 18	GRADING PLAN - SECTION F
CS 19	GRADING PLAN - SECTION G
CS 20	OVERALL EXISTING DRAINAGE AREA
CS 21	EXISTING DRAINAGE AREA
CS 22	PROPOSED DRAINAGE AREA
CS 23	HYDROLOGICAL CALC
CS 24	COLLECTOR PLAN & PROFILE
CS 25	STORM LINE 1' PLAN & PROFILE (SHEET 1 OF 2)
CS 26	STORM LINE 1' PLAN & PROFILE (SHEET 2 OF 2)
CS 27	STORM LATERAL 3/2" PLAN & PROFILE
CS 28	STORM LATERAL 3/4" PLAN & PROFILE
CS 29	STORM LINE 8" PLAN & PROFILE
CS 30	OVERALL SEWER PLAN
CS 31	SEWER LINE 18" PLAN AND PROFILE (SHEET 1 OF 2)
CS 32	SEWER LINE 18" PLAN AND PROFILE (SHEET 2 OF 2)
CS 33	SEWER LAY 11 & 12" PLAN & PROFILE
CS 34	SEWER LINE 12" PLAN & PROFILE (SHEET 1 OF 2)
CS 35	SEWER LINE 12" PLAN & PROFILE (SHEET 2 OF 2)
CS 36	SEWER LAY 10" PLAN & PROFILE
CS 37	SEWER LINE 10" PLAN & PROFILE
CS 38	SEWER LINE 10" PLAN & PROFILE
CS 39	SEWER LAY 8" PLAN
CS 40	SEWER SERVICES
CS 41	OVERALL WATER PLAN
CS 42	WATER PLAN - SECTION A
CS 43	WATER PLAN - SECTION B
CS 44	WATER PLAN - SECTION C
CS 45	WATER PLAN - SECTION D
CS 46	WATER PLAN - SECTION E
CS 47	WATER PLAN - SECTION F
CS 48	WATER PLAN - SECTION G
CS 49	WATER SERVICES
CS 50	WATER SERVICES
CS 51	EROSION CONTROL PLAN
CS 52	CITY OF CLEBURNE WATER DETAILS (S-1)
CS 53	CITY OF CLEBURNE WATER DETAILS (S-2)
CS 54	WATER DETAILS
CS 55	CITY OF CLEBURNE SEWER DETAILS (S-1)
CS 56	CITY OF CLEBURNE SEWER DETAILS (S-2)
CS 57	SEWER DETAILS
CS 58	STORM DETAILS (SHEET 1 OF 2)
CS 59	STORM DETAILS (SHEET 2 OF 2)
CS 60	PROVIDE DETAILS
CS 61	EROSION CONTROL DETAILS



DEVELOPER
MISSION PEAK CAPITAL
300 E 39TH STREET
KANSAS CITY, MO 64111

GENERAL NOTES

- 1. All construction shall conform to the North Central Texas Council of Governments' (NCTCOG) Standard Specifications and Standard Drawings for Public Works Construction (Latest Edition) and the requirements of the Johnson County & the City of Cleburne unless otherwise noted.
2. Contractor shall be responsible for furnishing all materials and labor to construct the facility as shown and described in the construction documents in accordance with the Johnson County requirements. All work required by these plans shall be conducted in conformance with current safety codes and standards with jurisdiction over this project.
3. All utilities may not be shown on these plans. Location of existing utilities depicted on the plans were obtained from available records and are approximate. The Contractor shall contact all franchise utility companies to have them locate existing utilities prior to construction. The Contractor shall coordinate the exact location and depth of all franchise utility services and any required relocation and/or extensions.
4. Call DUG TESS (1-800-344-8377) and/or other utility location services at least 48 hours prior to construction activities. The Engineer bears no responsibility for knowing all existing utilities or depicting exact locations on all drawings.
5. The Contractor shall repair or replace any physical damage to private property, including, but not limited to, fences, walls, pavement, grass, trees, and irrigation systems if no cost to the Owner. The work shall be subsidiary to the contract (unless otherwise noted) and is not a separate pay item.
6. The Contractor shall be responsible for obtaining all necessary permits prior to construction.
7. The Contractor shall, at all times, have a copy of any required construction permits, SWPPP (with inspection reports), and contract documents (including plans, specifications, and special conditions) available at the job site.
11. Any discrepancies on the drawings shall be immediately brought to the attention of the Owner and Engineer before commencing work. No field changes or deviations from the design shall be made without prior approval of the Owner and satisfaction to the Engineer. No consideration will be given to change orders for which the Owner and Engineer were not contacted prior to construction of the affected item.
12. All necessary inspections and/or certifications required by code, jurisdictional agency, and/or utility service shall be obtained by the contractor prior to project acceptance and the final connection of service.
13. The Contractor shall verify benchmarks and datum prior to commencing construction or staking of improvements.
14. Upon completion of the project, the Contractor shall provide the Engineer a copy of record drawings identifying all elevations or variations from the original plans.
15. The Contractor shall notify all affected parties and all authorized inspectors, superintendents, or persons in charge of private and public utilities, or railroads affected by his operations at least 48 hours prior to commencement of work.
16. If the contract documents do not sufficiently describe the final product of the work shown in the plans, the Contractor shall bring such to the attention of the Engineer. Unless otherwise specified, it is the Contractor's responsibility for methodology of construction to complete the work indicated or specified. The Contractor is to provide materials and equipment usually furnished with such systems, or required to complete the installation, whether specifically mentioned or not.
17. The Contractor shall comply with all Occupational Safety and Health Administration (OSHA) standards and regulations, as well as any other applicable federal, state, or local health and safety standards, laws, or regulations. Failure to comply with the requirements specified shall be considered just and sufficient cause for Owner to stop work.
18. The Contractor shall comply with Texas House Bill 1569, effective September 1, 1982, to maintain a viable trench safety system of all lines as well as the U.S. Department of Labor, OSHA, "Construction Safety and Health Regulations," 29 CFR, Subpart F, and amendments thereto. Shoring, shoring, bracing, and other trench safety costs shall be subsidiary to the cost of construction (no extra pay).

DEMOLITION GENERAL NOTES

- 1. All demolition debris shall be disposed of legally in a permitted disposal facility.
2. Contractor to only remove items designated by the owner, and dispose of legally at a permitted disposal facility. Free removal to include all stumps and root balls.
3. Contractor is responsible for locating all existing utilities and protecting them through construction.
4. Locations of existing structures and pavement to be removed are approximate and are shown for reference. Contractor is responsible for identifying the number, type, and size of all structures including pavement to be removed.
5. All structures and foundations on site are to be removed to a minimum elevation of 2 feet above the proposed finished site grades. If basements are encountered, they are to be filled in engineered fills and brought to finished grade as directed by the geotechnical engineer.
6. The Contractor is responsible for identifying and obtaining all permits that are required for site demolition.
7. The Contractor shall contact each utility company prior to demolition to coordinate the deactivation/termination of utility services. All water and sanitary sewer services to be abandoned shall be disconnected and capped at the main or as required by the city.
8. The Contractor must meet the requirements of the Texas Pollutant Discharge Elimination System General Permit No. TXR 150000, issued on March 5, 2023. If the project will disturb more than 1.0 acres of land, the contractor must prepare or have prepared a Storm Water Pollution Prevention Plan (SWPPP) and adhere to the requirements of the plan.

UTILITY GENERAL NOTES

- 1. All materials and workmanship shall conform to the City of Cleburne standards and specifications, and to the Standard Specifications for Public Works Construction for North Central Texas prepared by the North Texas Council of Governments, latest edition and the City of Cleburne addendum thereto.
2. All water mains shall be AWWA C-300 PVC water pipe class 300.
3. All 6" through 12" waterline mains where PVC pipe is used shall be ASTM 3034 (SDR-15), unless otherwise specified.
4. The maximum allowable trench width for all pipe through 12" diameter shall be 32".

GRAVING GENERAL NOTES

- 1. All materials and workmanship shall conform to Johnson County's standards and specifications, and to the Standard Specifications for Public Works Construction for North Central Texas prepared by the North Texas Council of Governments, latest edition and the Johnson County addendum thereto.
2. The geotechnical report No. 22-38544.2 by Partner Assessment Corporation (dated November 30, 2022) is considered a part of this document. The contractor must review it for construction requirements. If differences are noted between these plans and the geotechnical report, the requirements outlined in the geotechnical report shall govern. The contractor must contact the owner, the owner's engineer, and geotechnical firm and inform them of all discrepancies and plan modifications.
3. Areas around the perimeter of the building shall be graded at a 2% for 10' to ensure proper drainage away from the foundation.
4. The contractor must refer to the geotechnical report, foundation plans, and landscape plans for: 1) all backfill and compaction requirements, 2) foundation water proofing and 3) underdrains and landscape drains around the perimeter of the building.
5. Grades shown on the plans around the perimeter of the building are finished grades and are inclusive of bedding material for proposed landscape beds, topsoil and sod for lawn areas, and pavement.
6. Should the contractor encounter any unusual geological conditions during the construction of the project, he must notify the geotechnical engineer for supplemental recommendations.
7. All areas to receive paving shall be stripped to effectively remove all vegetation, top soil, and weeds, if present. Debris shall be disposed of legally off-site. Topsoil shall be stockpiled for landscaping purposes.
8. The contractor shall establish interior drainage swales to remove rainfall from the site. Water must not be allowed to pond in free grid areas. The site should be graded such that positive surface drainage away from the work areas is established and maintained at all times. Water must not be allowed to pond on the surface during construction.
9. The contractor shall provide sediment and erosion control measures as required by Johnson County throughout the construction of the project. Filter fabric fences will be placed at the top and toe of slopes, in the row line of ditches and along the perimeter of the project. Erosion controls must remain until landscaping is complete and ground cover is established.
10. All areas that will receive fill shall be pre-profiled to identify weak zones. All weak zones must be removed and replaced prior to fill placement. The entire area to receive fill shall then be scarified and re-compacted as specified in the geotechnical report.
11. Limestone or other rock-like materials used as fill shall be compacted to at least 95 percent of standard proctor maximum dry density. No individual rock pieces larger than 4 inches in diameter shall be used as fill. Additionally, no rock fill shall be used within 1 ft below the bottom of floor or pavement slabs.
12. Fill materials shall be placed in loose lifts, between 6 to 8 inches thick, and each lift compacted to a minimum of 95 percent of the maximum dry density as defined in ASTM D 883 at 10 to 13 percent of the optimum moisture content. Each lift shall be inspected and approved by a qualified engineering technician, supervised by a geotechnical engineer before another lift is added.
13. Testing is required, and shall be performed by a laboratory approved by the engineer/owner and paid for by the owner.
14. It is the responsibility of the contractor to locate and protect all public utilities in the construction of this project. All manholes, cleanouts, valve boxes, fire hydrants, etc., must be adjusted to proper one and grade by the contractor prior to and after the placing of permanent paving.
15. The Contractor must meet the requirements of the Texas Pollutant Discharge Elimination System General Permit No. TXR 150000, issued on March 5, 2023. If the project will disturb more than 1.0 acres of land, the contractor must prepare or have prepared a Storm Water Pollution Prevention Plan (SWPPP) and adhere to the requirements of the plan.

EROSION CONTROL - GENERAL NOTES

- 1. The Contractor must meet the requirements of the Texas Pollutant Discharge Elimination System General Permit No. TXR 150000, issued on March 5, 2023. If the project will disturb more than 1.0 acre of land, the contractor must prepare or have prepared a Storm Water Pollution Prevention Plan (SWPPP) and adhere to the requirements of the plan.
2. As procedures and materials used for erosion control shall be approved by Johnson County.
3. It shall be the contractor's responsibility to use whatever means are necessary to control and limit silt and sediment leaving this site. Specifically, the contractor shall protect all public streets, ditches, streams, storm drain systems and ditches from siltation deposits. The contractor shall comply with storm water pollution prevention best management practices per Johnson County and TQD Requirements.
4. Silt fencing shall be Balesh silt fence 751 33" with or approved equal. Accumulated sediment shall be graded away from fence periodically when necessary.
5. Prior to commencing any construction, perimeter silt fence shall be installed at the locations shown on the plans and a stabilized construction entrance shall be constructed per the Erosion Control and Storm Water Pollution Prevention Plans as applicable.
6. Plant materials must be suitable for use under local climate and soil conditions. In general, hydro seeding or sodding Bermuda grass is acceptable during the summer months (May 1 to August 30). Winter rye or fescue grass may be planted during times other than the summer months as a temporary measure until such time as the permanent planting can be made.
7. As viets are completed, temporary sediment barriers and silt protection shall be installed in accordance with the Johnson County Specifications.
8. At the completion of the paving and final grading, the disturbed area(s) shall be revegetated in accordance with the plans and specifications.
9. Silt fence and silt sediment barriers shall remain in place until revegetation has been completed.
10. Disturbed areas that are seeded or sodded shall be checked periodically to insure that grass coverage is properly maintained. Disturbed areas shall be watered, fertilized and reseeded or resodded if necessary.
11. If the erosion control is removed for construction and/or access purposes, the contractor shall replace it at the end of each work day.
12. Erosion protection may be added or deleted per Johnson County.
13. If off-site soil borrow or spoil sites are used in conjunction with this project, this information shall be disclosed and shown on the Erosion Control Plan. Off-site borrow and spoil areas are considered a part of the project site and therefore shall comply with the erosion control requirements of Johnson County. These areas shall be stabilized with permanent ground cover prior to final approval of the project.
14. The Contractor must provide appropriate controls to minimize dust and wind erosion during the construction process. Controls may include, but are not limited to 1) moisture conditioning the soil through the application of water, 2) seeding the soil with additives, or

- 3) covering the soils with less erodible materials, vegetation or pavement.
15. Erosion control measures may only be placed in front of ditches, or in channels, drainage ways or borrow ditches at risk of contractor. Contractor shall remain liable for any damage caused by the measures, including flooding damage, which may occur due to blocked drainage. At the completion of any project, all channels, drainage ways and borrow ditches in the work zone shall be dredged of any sediment generated by the project or deposited as a result of a result of erosion control measures.

STORM SEWER GENERAL NOTES

- 1. All materials and workmanship shall conform to the Johnson County standards and specifications, and to the Standard Specifications for Public Works Construction for North Central Texas prepared by the North Texas Council of Governments, latest edition and the Johnson County addendum thereto.
2. All drainage structures shall be 1,600 psi concrete of 28 days.
3. Reinforced Concrete Pipe shall be Class III unless otherwise noted. Prefabricated Ductile Iron Pipe Section shall be used on all pipe joints unless otherwise noted.
4. PVC pipe shall be SDR 35 (ASTM 3034) unless otherwise noted.
5. All pipe backfill shall be compacted to 95% of standard proctor density in six (6) inch lifts.
6. Water filling will not be allowed.
7. All eye & tee connections and bands shall be manufactured fittings.
8. Contractor is responsible for locating all utilities and coordinating with utility companies prior to construction.

PAVING GENERAL NOTES

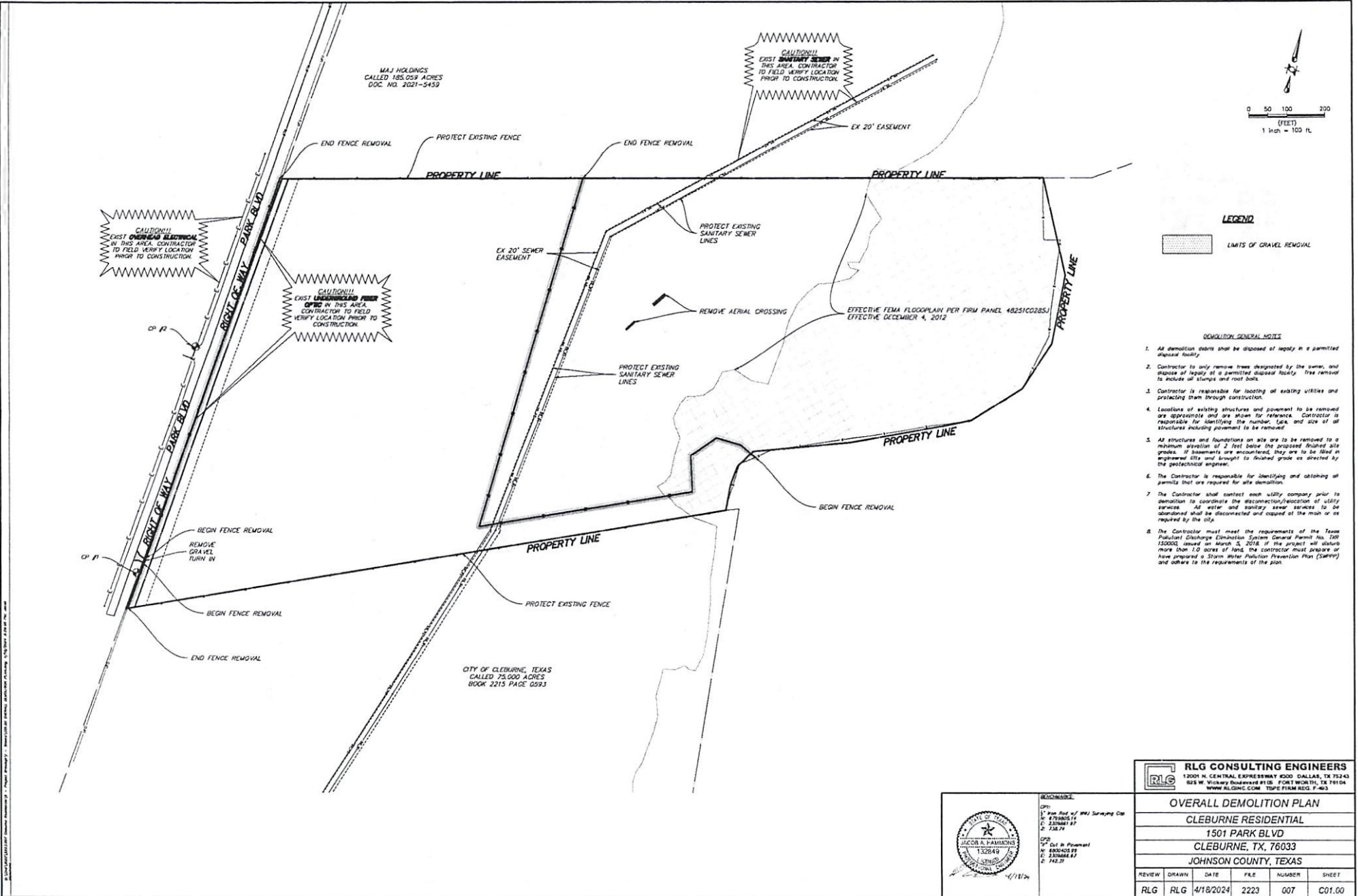
- 1. All materials and workmanship shall conform to the Johnson County standards and specifications, and to the Standard Specifications for Public Works Construction for North Central Texas prepared by the North Texas Council of Governments, latest edition and the Johnson County addendum thereto.
2. The paving contractor shall be responsible for the adjustment of water and sanitary sewer appurtenances in accordance with the standard details and specifications of the Johnson County.
3. Subgrade shall be scarified to depth of at least 6" and compacted to 95% percent of Standard Proctor density (ASTM D 898) at 3 percentage points of the maximum optimum moisture content. The subgrade shall be in a moist condition at the time concrete is deposited thereon.
4. Dummy joints should be formed by one of the following methods: sawed, hand-formed or formed by premolded filler. Joint depth should be equal to one-fourth (1/4) of the slab thickness. Hand formed joints should have a maximum edge radius of one-fourth (1/4) inch. Sawing of joints should begin as soon as the concrete has hardened sufficiently to permit sawing without excessive raveling. All joints should be completed before uncontrolled shrinkage cracking occurs. Joints should be continuous across the slab unless interrupted by full-depth premolded joint filler and should extend completely through the curb. All joint openings shall be cleaned and sealed before opening paved area to traffic.
Joint spacing
Expansion joints 30' max
Sawed joints 12' for 3" thick pavement
15' for 6" or thicker pavement
Construction joints Located at Sawed Joints or Expansion Joints
5. Expansion joints or isolation joints shall be used to isolate fixed objects abutting or within the paved area. They should contain premolded joint filler for the full depth of the slab.
6. All dimensions are to face of curb unless otherwise noted.
7. All concrete shall be Class "C" concrete and have a min. compressive strength of 3500 psi at 28 days, and a minimum of 5% air or entrained unless otherwise noted.
8. Contractor shall obtain and pay for all permits required.
9. Contractor shall dispose of surplus dirt, debris, etc. legally off-site. All work areas shall be cleaned up at the completion of the work.
10. Surface finishing shall be silt resistant, a liquid curing compound shall be uniformly sprayed on the concrete immediately after the finishing operation.
11. Contractor shall provide all safety devices for the protection of the public.
12. All parking stalls to be marked by a 4" wide pointed white stripe as indicated on the drawings.
13. Concrete pavement and structures shall be backfilled as soon as possible after forms are removed.
14. Fire lanes shall be marked by six (6) inch wide lines using red traffic paint with the wording "No Parking" and "Fire Lane" painted on the lines at intervals of fifteen (15) feet and lettering will be four (4) inches high and one (1) inch wide painted with white traffic paint or as required by the City.
15. All Barrier Free Ramps (BFRs), if shown, must meet current American Disability Act (ADA) and Texas Accessibility Standard (TAS) requirements for slope, surface finish, and color.
a) Textures on BFR may consist of pavers with raised truncated cones, the full width and

depth of the curb ramp. Surfaces must be constructed in a way that prevents water from accumulating on the ramp.
b) For purposes of marking, the full width and depth of curb ramps shall have a light reflective noise and texture that significantly contrasts with that of adjoining pedestrian routes.



REVISIONS table with columns: NO., DATE, BY, DESCRIPTION. Includes entries for 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15.

RLG CONSULTING ENGINEERS logo and contact information: 1501 PARK BLVD, CLEBURNE, TX, 76033. Includes a GENERAL NOTES table with columns: REVIEW, DRAWN, DATE, FILE, NUMBER, SHEET.

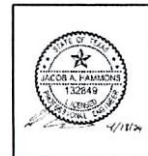


- LEGEND**
- ▨ LIMITS OF GRAVEL REMOVAL
- DEMOLITION GENERAL NOTES**
1. All demolition debris shall be disposed of legally in a permitted disposal facility.
 2. Contractor to only remove trees designated by the owner, and dispose of legally at a permitted disposal facility. Tree removal to include all stumps and root balls.
 3. Contractor is responsible for locating all existing utilities and protecting them through construction.
 4. Locations of existing structures and pavement to be removed are approximate and are shown for reference. Contractor is responsible for identifying the number, type, and size of all structures including pavement to be removed.
 5. All structures and foundations on site are to be removed to a minimum elevation of 2' feet below the proposed finished site grades. If basements are encountered, they are to be filled in engineered fills and brought to finished grade as directed by the professional engineer.
 6. The Contractor is responsible for identifying and obtaining all permits that are required for site demolition.
 7. The Contractor shall contact each utility company prior to demolition to coordinate the disconnection/relocation of utility services. All water and sanitary sewer services to be abandoned shall be disconnected and capped at the main or as required by the city.
 8. The Contractor must meet the requirements of the Texas Pollutant Discharge Elimination System General Permit No. TSD-150002 issued on March 25, 2018. If the project will disturb more than 1.0 acres of land, the contractor must prepare or have prepared a Storm Water Pollution Prevention Plan (SWPPP) and adhere to the requirements of the plan.

RLG CONSULTING ENGINEERS
 12001 N. CENTRAL EXPRESSWAY #200 DALLAS, TX 75243
 825 W. VICKSBURG BOULEVARD #1100 FORT WORTH, TX 76104
 WWW.RLGINC.COM TSPE FIRM REG. F-463

OVERALL DEMOLITION PLAN
 CLEBURNE RESIDENTIAL
 1501 PARK BLVD
 CLEBURNE, TX, 76033
 JOHNSON COUNTY, TEXAS

REVIEW	DRAWN	DATE	FILE	NUMBER	SHEET
RLG	RLG	4/18/2024	2223	007	C01.00

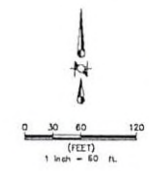


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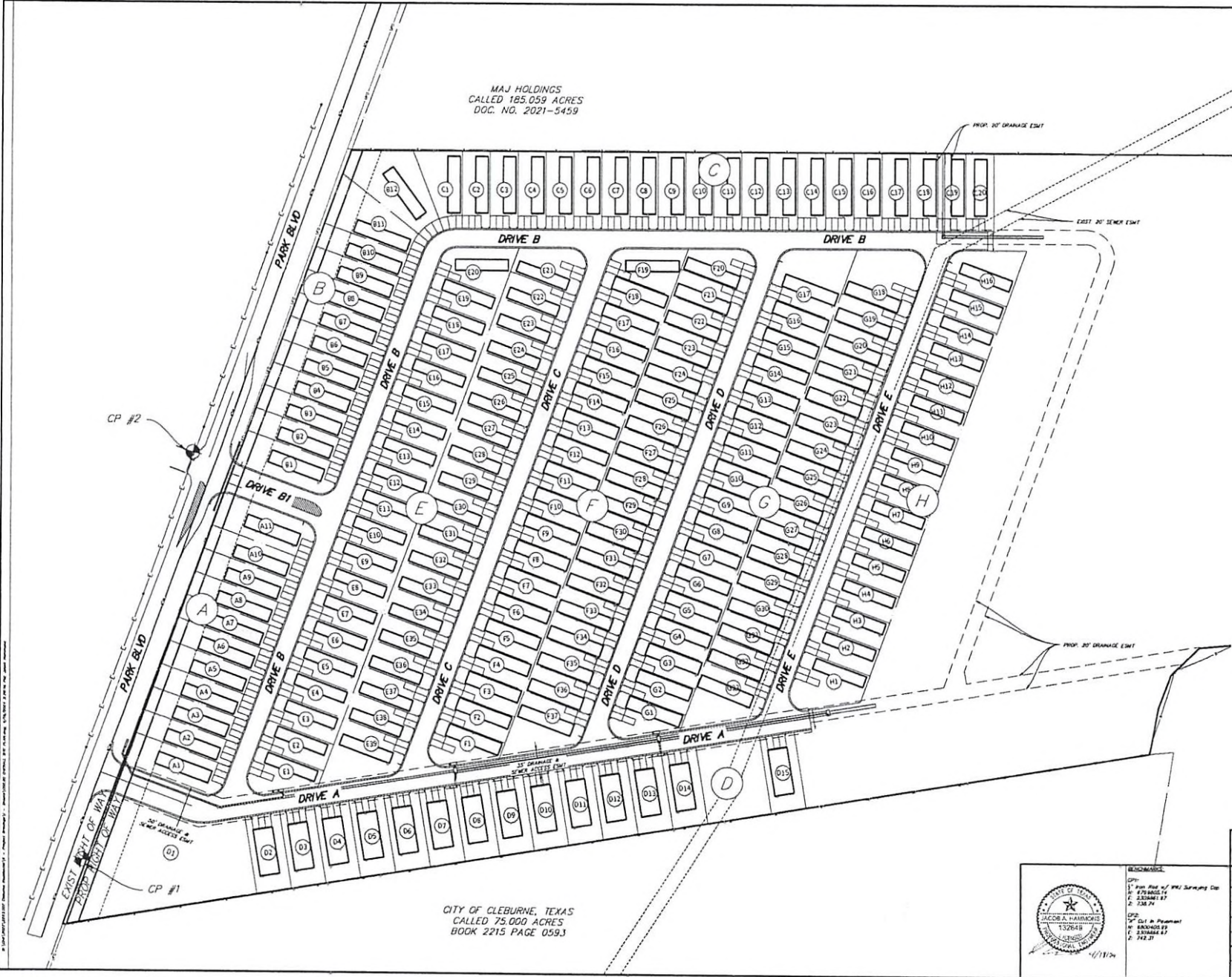
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 1. 4/18/2024
 2. 2:36:29

002: Call to Payment
 1. 4/18/2024
 2. 7:42:39

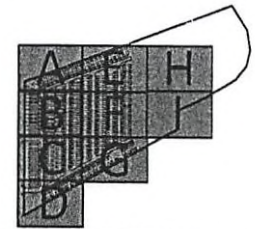
MAJ HOLDINGS
CALLED 185,059 ACRES
DOC. NO. 2021-5459



PAD SIZE			
	16'x76'	18'x90'	20'x66'
A	0	11	0
B	0	12	0
C	0	20	0
D	0	0	14
E	19	0	0
F	1	37	0
G	0	33	0
H	16	0	0
TOTAL	35	113	14



CITY OF CLEBURNE, TEXAS
CALLED 75,000 ACRES
BOOK 2215 PAGE 059.3

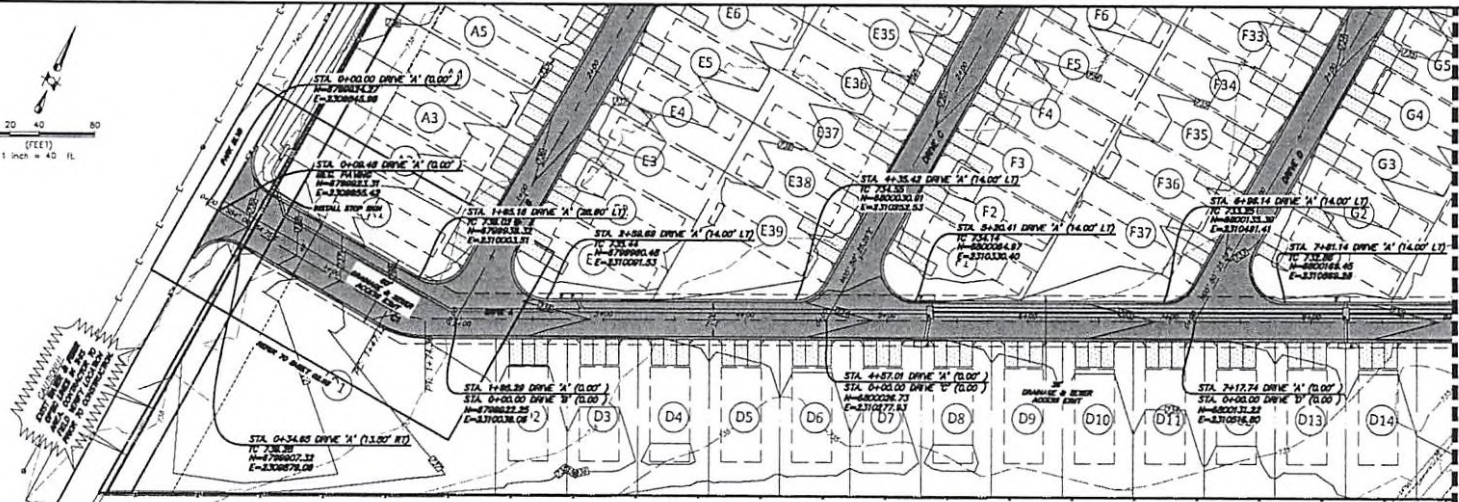
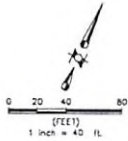


RLG CONSULTING ENGINEERS
13009 W. CENTRAL EXPRESSWAY #300 DALLAS, TX 75243
825 W. VICKERY BOULEVARD #108 FORT WORTH, TX 76104
WWW.RLGINC.COM TSPF FIRM REG. 7-403

OVERALL SITE PLAN					
CLEBURNE RESIDENTIAL					
1501 PARK BLVD					
CLEBURNE, TX, 76033					
JOHNSON COUNTY, TEXAS					
REVIEW	DRAWN	DATE	FILE	NUMBER	SHEET
RLG	RLG	4/18/2024	2223	007	C02.00



BENCHMARK
 CIP: 1
 1. From Plat of RLG Surveying Co.
 2. 1/15/2024 14
 3. 1/15/2024 17
 4. 1/15/24
 CIP: 2
 1. City of Cleburne
 2. 1/15/2024 19
 3. 1/15/2024 17
 4. 1/15/24

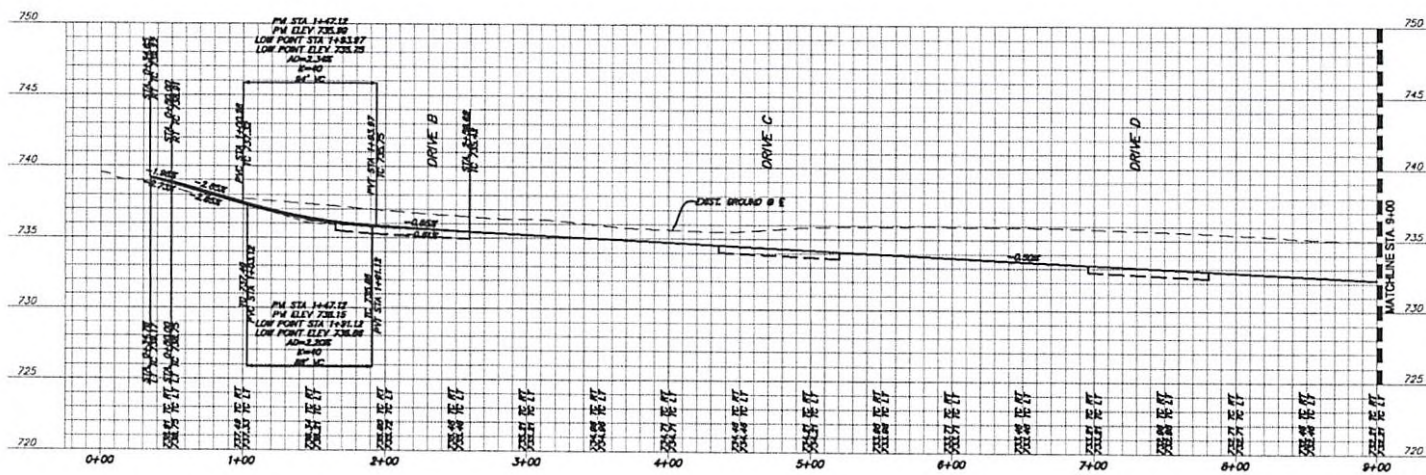


- LEGEND**
- CONSTRUCT 8" 3000psi REINFORCED CONCRETE PAVEMENT PER TYPICAL DRIVEWAY SECTION DETAIL ON SHEET C002
 - CONSTRUCT 4" 3000psi REINFORCED CONCRETE PAVEMENT WITH #3 BARS @ 18" O.C.C.R.C.
 - CONSTRUCT 8" H.A.L.A.C. (INSTALL 2" TYPE "D" H.A.L.A.C. OVER 4" TYPE "A" H.A.L.A.C. OVER 8" SUBGRADE)
 - LIMITS OF PAVEMENT SAWCUT
 - MATCH EXISTING PAVEMENT GRADE

- NOTES**
1. The existing utilities shown on these plans were compiled from various sources and are intended to show the general substance and location of the utilities on the plans. All existing utilities may not be shown on the plans.
 2. The locations of existing utilities depicted on the plans are approximate. It shall be the Contractor's responsibility to verify the utility locations prior to construction. Utilities damaged by the Contractor during construction shall be repaired to as good or better condition, at the Contractor's expense.
 3. Call 1-800-344-8177 (TOL TESS) or other utility location service of least 66 hrs. prior to construction activity. RLG is not responsible for locating all of the existing utilities or depicting exact locations on all drawings.
 4. Contractor shall protect all trees, lawns, retaining walls, and other structures unless otherwise noted.
 5. All curb road shall be 25' to Face of Curb unless otherwise noted.
 6. Refer to the geotechnical report for pavement strength and specifications.

Curve Table Alignments

Curve #	Start Sta.	End Sta.	Radius	Delta	Length	Chord Direction	Chord Length
C1	1+47.12	1+74.38	83.00	128.47	27.25'	N81° 06' 27.79"E	28.84'



RLG CONSULTING ENGINEERS
 12001 N. CENTRAL EXPRESSWAY SUITE 400 DALLAS, TX 75243
 10210 W. WILSON ROAD SUITE 100, FORT WORTH, TX 76104
 WWW.RLGC.COM TDDI FIRM REG. F-403

DRIVE A PLAN & PROFILE (SHEET 1 OF 2)

CLEBURNE RESIDENTIAL
 1501 PARK BLVD
 CLEBURNE, TX, 76033
 JOHNSON COUNTY, TEXAS

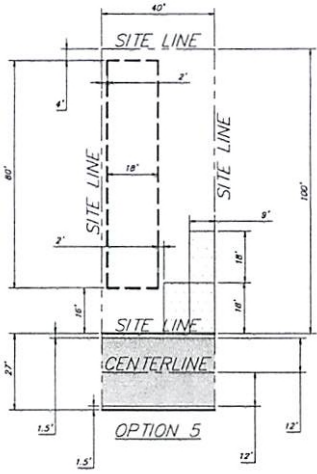
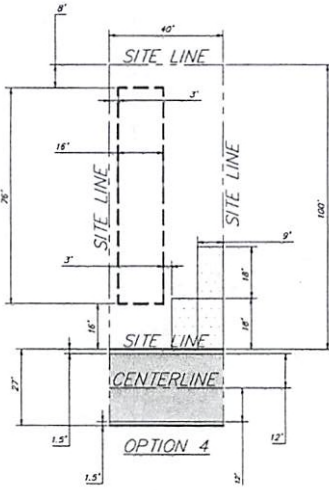
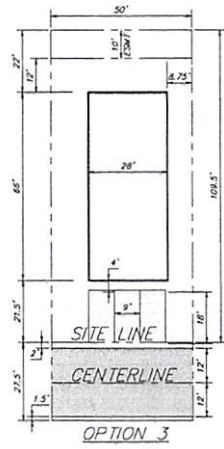
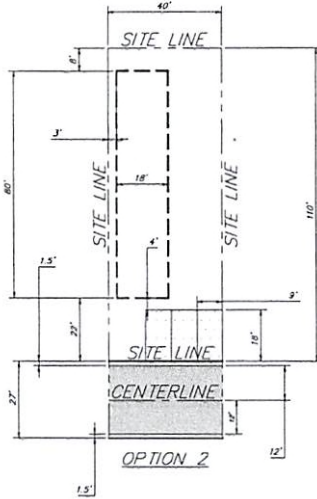
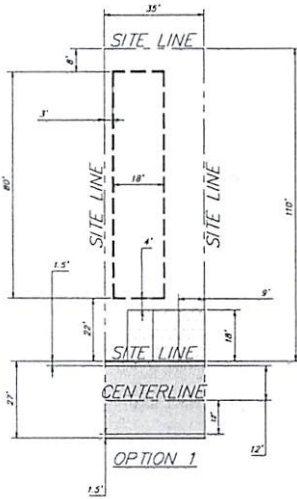
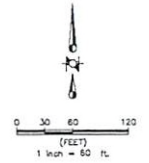
REVIEW	DRAWN	DATE	FILE	NUMBER	SHEET
RLG	RLG	4/18/2024	2223	007	C02.02



REVISIONS:

001: Per Plan of Work Surveying Co.
 F: 1/18/2024
 F: 2/20/2024
 P: 2/26/24

002: Call B Permit
 F: 3/26/24
 P: 4/2/24



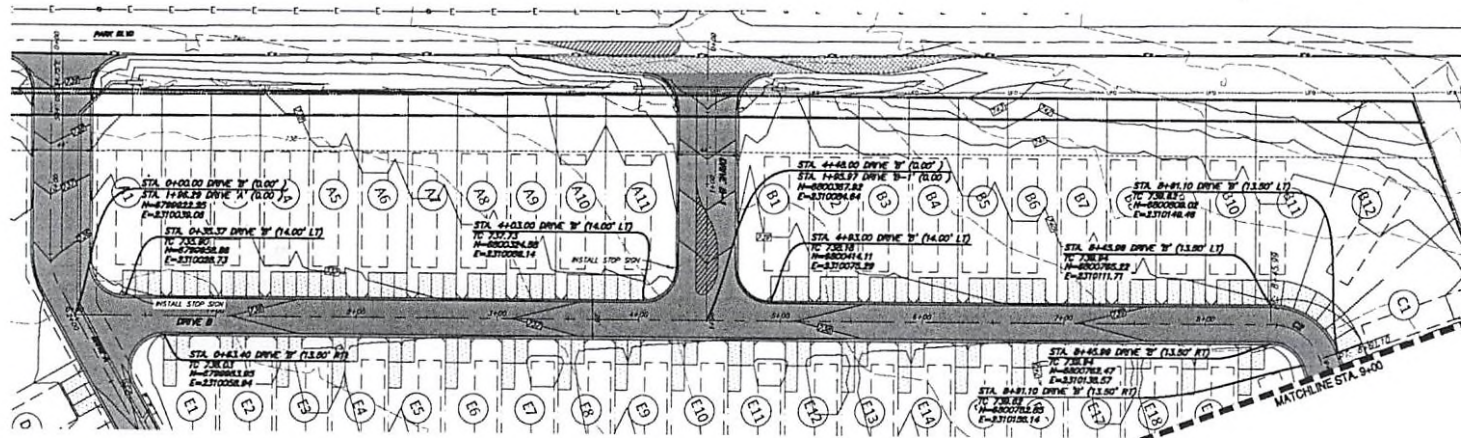
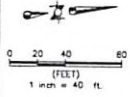
REVISIONS:
 DT: 1" Sp. Red w/ 1/2" Sampling Cap
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 E: 232861.87
 S: 736.14
 CD: 1" Col in Placement
 M: 882646.09
 E: 232862.87
 S: 742.31






RLG CONSULTING ENGINEERS
 12001 N. CENTRAL EXPRESSWAY SUITE 200 DALLAS, TX 75243
 525 W. WICKERY BOULEVARD FLOOR FORT WORTH, TX 76104
 WWW.RLGINC.COM TEXAS FIRM REG. F-403

SITE DETAILS
 CLEBURNE RESIDENTIAL
 1501 PARK BLVD
 CLEBURNE, TX, 76033
 JOHNSON COUNTY, TEXAS

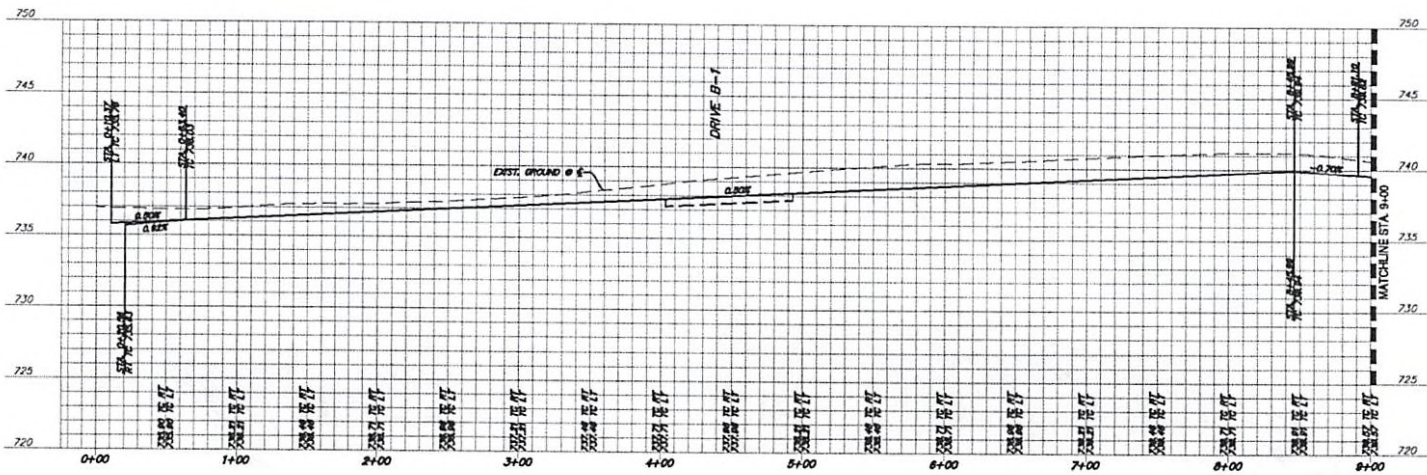
REVIEW	DRAWN	DATE	FILE	NUMBER	SHEET
RLG	RLG	4/18/2024	2223	007	C02.01

A:\Projects\2024\1501 Park Blvd\1501 Park Blvd - 4/18/2024\1501 Park Blvd - 4/18/2024.dwg



- LEGEND**
-  CONSTRUCT 8" 3000psi REINFORCED CONCRETE PAVEMENT PER TYPICAL DRIVEWAY SECTION DETAIL ON SHEET C02.03
 -  CONSTRUCT 8" 3000psi REINFORCED CONCRETE PAVEMENT WITH 6" BARS @ 18" O.C.E.K.
 -  CONSTRUCT 8" H.M.A.C. (INSTALL 2" TYPE 'D' H.M.A.C. OVER 4" TYPE 'A' H.M.A.C. OVER 8" SUBGRADE)
 -  LIMITS OF PAVEMENT SLOTT
 -  MATCH EXISTING PAVEMENT GRADE

- NOTES**
1. The existing utilities shown on these plans were compiled from various sources and are intended to show the general substance and location of the utilities on the plans. All existing utilities may not be shown on the plans.
 2. The locations of existing utilities depicted on the plans are approximate. It shall be the Contractor's responsibility to verify all utility locations prior to construction. Utilities damaged by the Contractor during construction shall be repaired, to as good or better condition, at the Contractor's expense.
 3. Call 1-800-344-6377 (DIAL 7533) or other utility location service of least 48 hrs. prior to construction activity. RLG is not responsible for knowing all of the existing utilities or depicting exact locations on all drawings.
 4. Contractor shall protect all trees, fences, existing walls, and other structures unless otherwise noted.
 5. All curb radii shall be 25' to Face of Curb unless otherwise noted.
 6. Refer to the geotechnical report for pavement strength and specifications.



RLG CONSULTING ENGINEERS
 12001 W. CENTRAL EXPRESSWAY #200 DALLAS, TX 75245
 855 W. Vickery Boulevard #110 FORT WORTH, TX 76104
 WWW.RLGCONC.COM TYPE FIRM REG. F-403

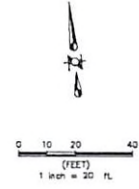
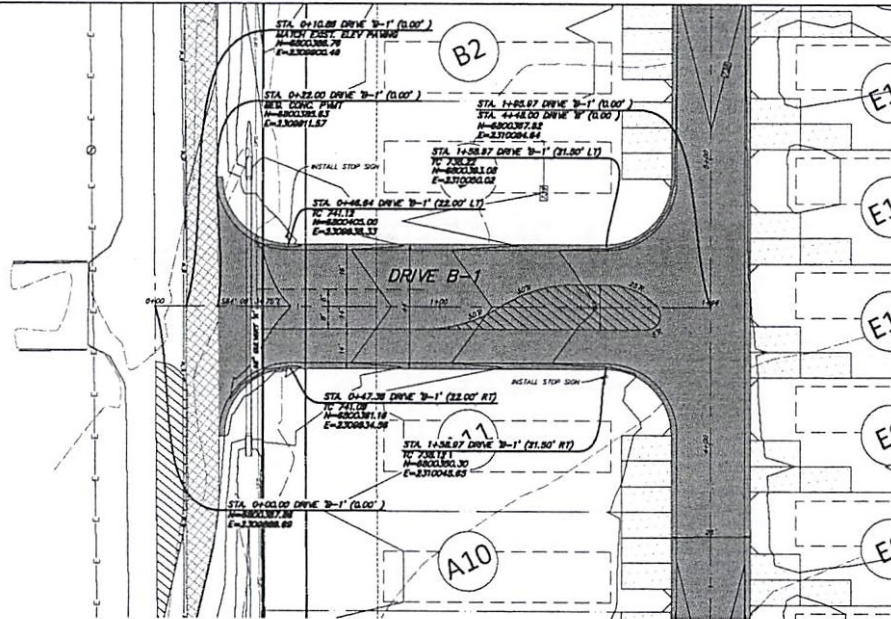
DRIVE B PLAN & PROFILE (SHEET 1 OF 2)

CLEBURNE RESIDENTIAL					
1501 PARK BLVD					
CLEBURNE, TX, 76033					
JOHNSON COUNTY, TEXAS					
REVIEW	DRAWN	DATE	FILE	NUMBER	SHEET
RLG	RLG	4/18/2024	2223	007	C02.04



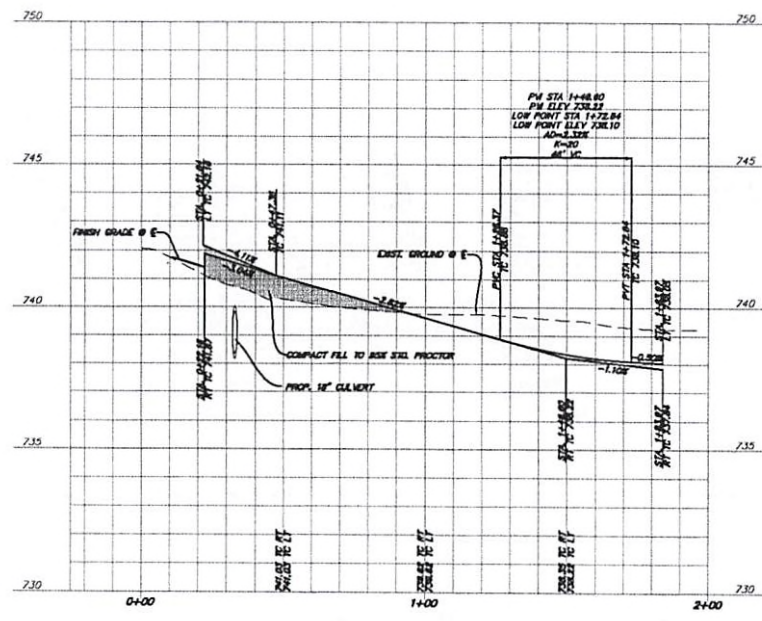
REVISIONS

01	Per Plan of RLG Consulting Eng	4/18/2024
02	Call in Payment	4/18/2024



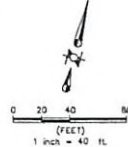
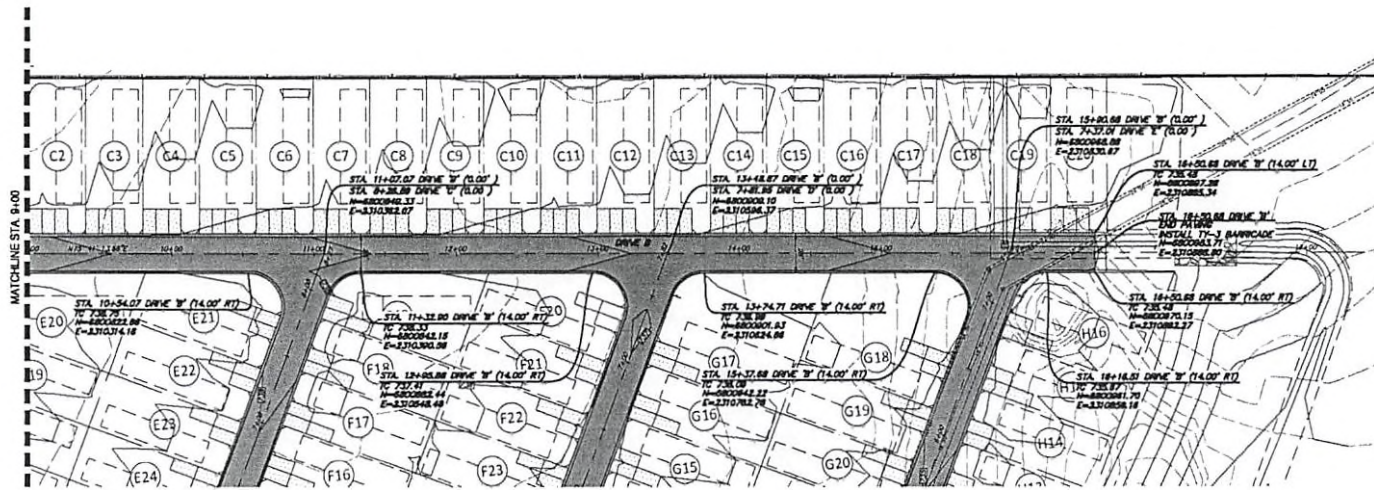
- LEGEND**
- CONSTRUCT 8" REINFORCED CONCRETE PAVEMENT, SEE TYPICAL DRIVEWAY SECTION DETAIL ON SHEET C001
 - CONSTRUCT 8" REINFORCED CONCRETE PAVEMENT WITH #3 BARS @ 18" C.C.R.C.
 - CONSTRUCT 2" HMAAC (INSTALL 2" TYPE "D" HMAAC OVER 4" TYPE "A" HMAAC OVER 4" SUBGRADE)
 - LIMITS OF PAVEMENT SAWCUT
 - MATCH EXISTING PAVEMENT GRADE

- NOTES**
1. The existing utilities shown on these plans were compiled from vertical surveys and are intended to show the general existence and location of the utilities on the plans. All existing utilities may not be shown on the plans.
 2. The locations of existing utilities depicted on the plans are approximate. It shall be the Contractor's responsibility to verify all utility locations prior to construction. Utilities damaged by the Contractor during construction shall be repaired, to as good or better condition, at the Contractor's expense.
 3. Call 1-800-344-8377 (TxDOT 7823) or other utility location services at least 48 hrs. prior to construction activity. RLG is not responsible for knowledge of the existing utilities or depicting exact locations on all drawings.
 4. Contractor shall protect all trees, lawns, retaining walls, and other structures unless otherwise noted.
 5. All curb radii shall be 25' to Face of Curb unless otherwise noted.
 6. Refer to the geotechnical report for pavement strength and specifications.



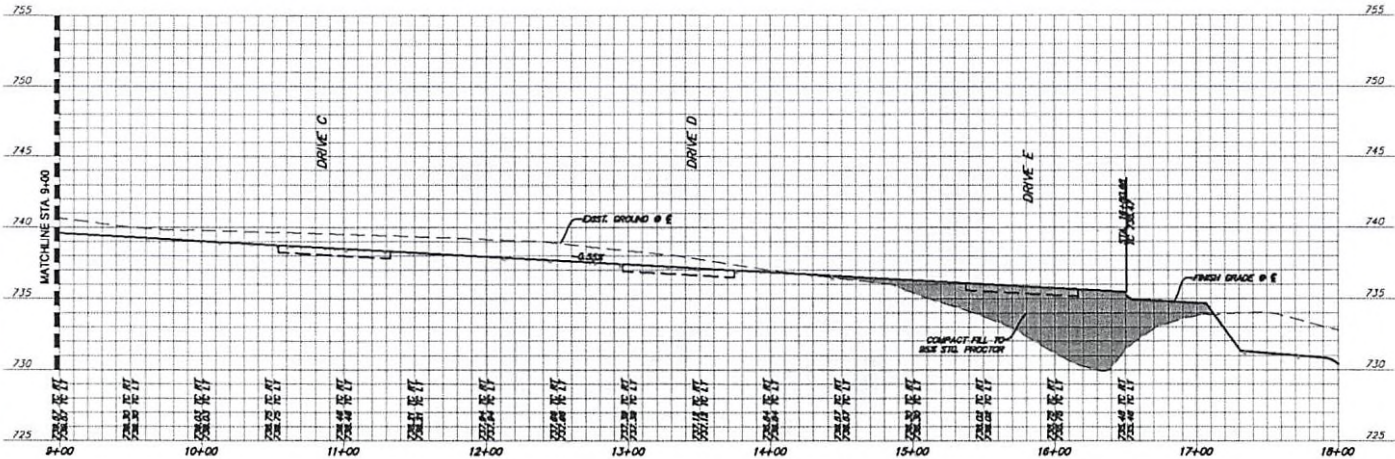
RECORDS:
 07/1
 1. Plan Book of RLG Surveying Co.
 W. 07/18/2024
 E. 2/28/2021 07
 D. 7/26/24
 07/2
 1. Call to Plaintiff
 W. 8/10/2024 07
 E. 2/28/2021 07
 D. 7/26/24

RLG CONSULTING ENGINEERS					
15001 N. CENTRAL EXPRESSWAY #300 DALLAS, TX 75243 803 W. YORK STREET SUITE 8100 FORT WORTH, TX 76104 WWW.RLGCON.COM TYPE FIRM REG. F-403					
DRIVE B-1 PLAN & PROFILE					
CLEBURNE RESIDENTIAL					
1501 PARK BLVD					
CLEBURNE, TX, 76033					
JOHNSON COUNTY, TEXAS					
REVIEW	DRAWN	DATE	FILE	NUMBER	SHEET
RLG	RLG	4/18/2024	2223	007	C02.06



- LEGEND**
- CONSTRUCT 8" 3000# REINFORCED CONCRETE PAVEMENT PER TYPICAL DRIVEWAY SECTION DETAIL ON SHEET C02.05
 - CONSTRUCT 8" 3000# REINFORCED CONCRETE PAVEMENT WITH #3 BARS @ 18" O.C.I.E.
 - CONSTRUCT 8" ALMAC (INSTALL 4" TYPE 2" ALMAC OVER 4" TYPE 4" ALMAC OVER 8" SUBGRADE)
 - LIMITS OF PAVEMENT SAWCUT
 - 1 MATCH EXISTING PAVEMENT GRADE

- NOTES**
1. The existing utilities shown on these plans were compiled from various sources and are intended to show the general substance and location of the utilities on the plans. All existing utilities may not be shown on the plans.
 2. The locations of existing utilities depicted on the plans are approximate. It shall be the Contractor's responsibility to verify utility locations prior to construction. Utilities damaged by the Contractor during construction shall be repaired to as good or better condition, at the Contractor's expense.
 3. Call 1-800-344-8377 (TxDOT 7533) or other utility location service at least 48 hrs. prior to construction activity. RLG is not responsible for accuracy of all of the existing utilities or depicting exact locations on all drawings.
 4. Contractor shall protect all trees, fences, retaining walls, and other structures unless otherwise noted.
 5. All curb radii shall be 25' to Face of Curb unless otherwise noted.
 6. Refer to the geotechnical report for pavement strength and specifications.



RLG CONSULTING ENGINEERS
 12001 N. CENTRAL EXPWAY #200 DALLAS, TX 75243
 825 W. WILKINSON BOULEVARD #105 FORT WORTH, TX 76104
 WWW.RLG-ENG.COM TYPED FROM ECD, F. 403

DRIVE B PLAN & PROFILE (SHEET 2 OF 2)

CLEBURNE RESIDENTIAL
 1501 PARK BLVD
 CLEBURNE, TX, 76033
 JOHNSON COUNTY, TEXAS

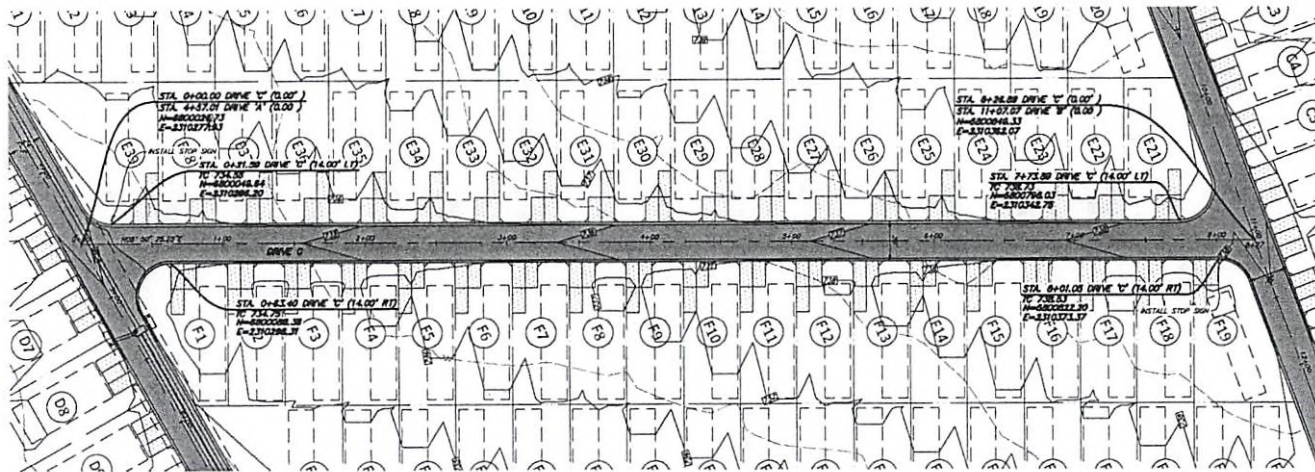
REVIEW	DRAWN	DATE	P.R.	NUMBER	SHEET
RLG	RLG	4/18/2024	2223	007	C02.05



REVISIONS

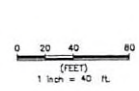
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 1: 8/20/2023
 2: 2/28/2024
 3: 3/24/24

002: Call in Permitted
 1: 8/20/2023
 2: 2/28/2024
 3: 2/22/24

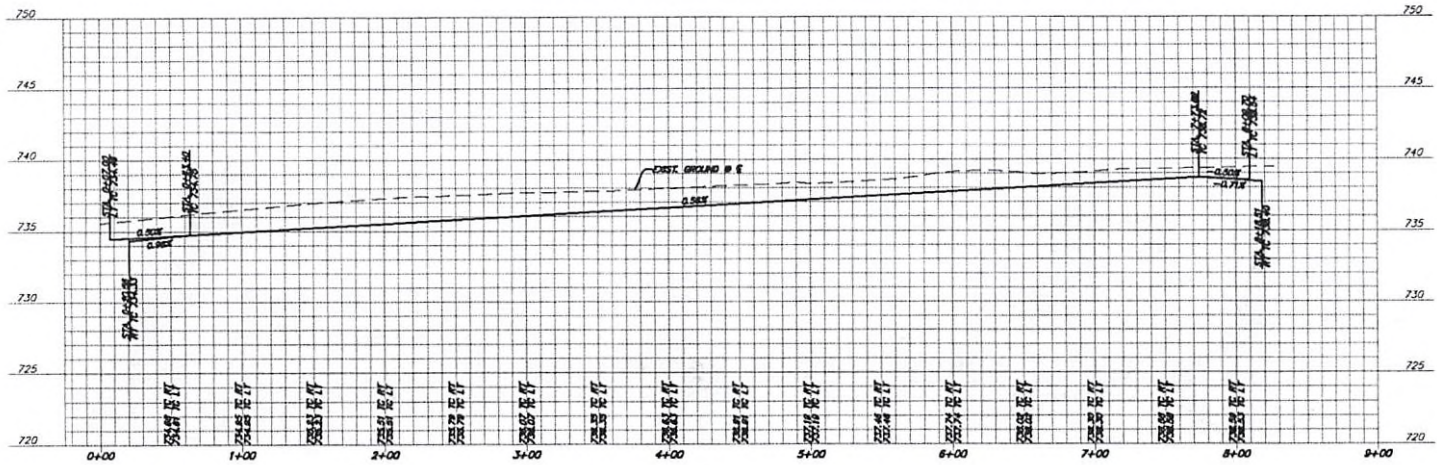


LEGEND

- CONSTRUCT 8" 3000# REINFORCED CONCRETE PAVEMENT FOR TYPICAL DRIVEWAY SECTION DETAIL ON SHEET C02.08
- CONSTRUCT 8" 3000# REINFORCED CONCRETE PAVEMENT WITH #3 BARS @ 18" O.C.E.R.
- CONSTRUCT 8" M.A.C. (INSTALL 2" TYPE "B" M.A.C. OVER 4" TYPE "A" M.A.C. OVER 8" SUBGRADE)
- LIMITS OF PAVEMENT SAWCUT
- MATCH EXISTING PAVEMENT GRADE



- NOTES**
1. The existing utilities shown on these plans were researched from various sources and are intended to show the general substance and location of the utilities on the plans. All existing utilities may not be shown on the plans.
 2. The locations of existing utilities depicted on the plans are approximate. It shall be the Contractor's responsibility to verify utility locations prior to construction. Utilities damaged by the Contractor during construction shall be repaired to as good or better condition, at the Contractor's expense.
 3. Call 1-800-344-8377 (DIAL TESS) or other utility locator service at least 48 hrs. prior to construction activity. RLG is not responsible for accuracy of the existing utilities or depicting exact locations on all drawings.
 4. Contractor shall protect all trees, known, existing, and other structures unless otherwise noted.
 5. All curb radii shall be 25' to Face of Curb unless otherwise noted.
 6. Refer to the geotechnical report for pavement strength and specifications.



RLG CONSULTING ENGINEERS
 13008 W. CENTRAL EXPRESSWAY #200 DALLAS, TX 75243
 835 W. VICKERY BOULEVARD #100 FORT WORTH, TX 76104
 WWW.RLGINC.COM TSP# FIRM REG. F-462

DRIVE C PLAN & PROFILE					
CLEBURNE RESIDENTIAL					
1501 PARK BLVD					
CLEBURNE, TX, 76033					
JOHNSON COUNTY, TEXAS					
REVIEW	DRAWN	DATE	FILE	NUMBER	SHEET
RLG	RLG	4/18/2024	2223	007	C02.07

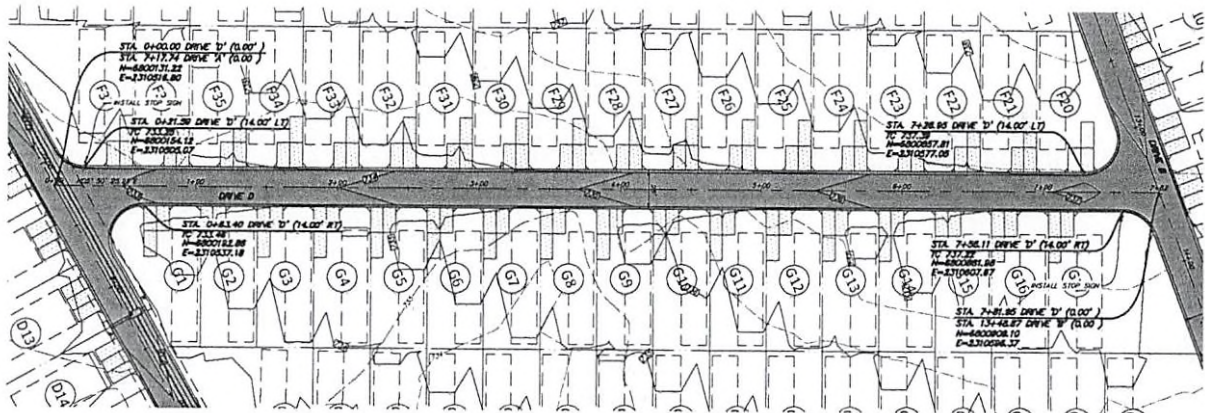


REVISIONS

001: For Plot of RLG Surveying Co.
 1. 4/18/24
 2. 2/20/24 #2
 3. 2/28/24

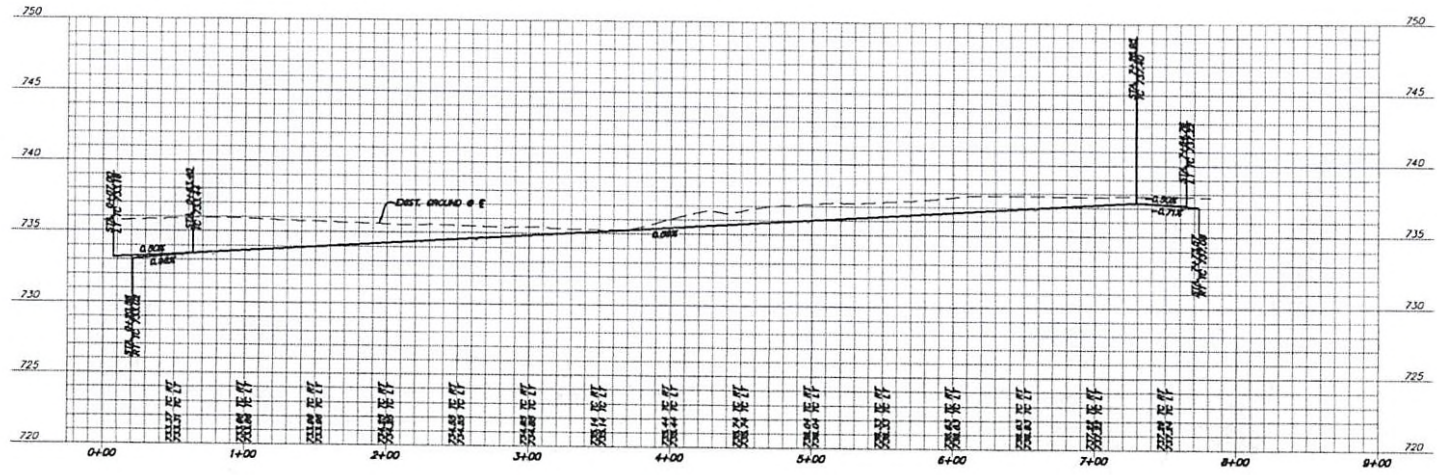
002: Cut in Pavement
 1. 2/28/24 #2
 2. 2/28/24 #2
 3. 2/28/24

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- LEGEND**
- CONSTRUCT 8" 3000# REINFORCED CONCRETE PAVEMENT PER TYPICAL DRIVEWAY SECTION DETAIL ON SHEET C02.08
 - CONSTRUCT 8" 3000# REINFORCED CONCRETE PAVEMENT WITH #3 BARS @ 14" O.C.E.R.
 - CONSTRUCT 8" N.M.A.C. (INSTALL 2" TYPE "D" N.M.A.C. OVER 4" TYPE "A" N.M.A.C. OVER 8" SUBGRADE)
 - LIMITS OF PAVEMENT SAWCUT
 - MATCH EXISTING PAVEMENT GRADE

- NOTES**
1. The existing utilities shown on these plans were compiled from various sources and are intended to show the general substance and location of the utilities on the plans. All existing utilities may not be shown on the plans.
 2. The locations of existing utilities depicted on the plans are approximate. It shall be the Contractor's responsibility to verify all utility locations prior to construction. Utilities damaged by the Contractor during construction shall be repaired to as good or better condition as the Contractor's expense.
 3. Call 1-800-344-8377 (DIAL 7333) or other utility location service at least 48 hrs. prior to construction activity. RLG is not responsible for accuracy of all the existing utilities or depicting exact locations on all drawings.
 4. Contractor shall protect all trees, fences, retaining walls, and other structures unless otherwise noted.
 5. All curb road shall be 25' in Face of Curb unless otherwise noted.
 6. Refer to the geotechnical report for pavement strength and specifications.



REVISIONS

1	As per Plan of RLG Surveying Co.
2	BY: JACOB A. HAUNINGER
3	DATE: 11/11/24

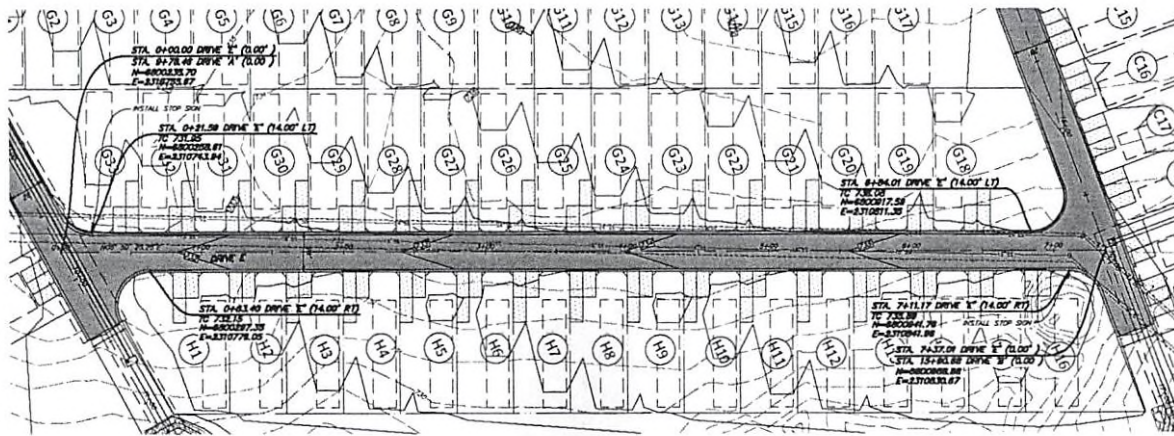
DATE: 11/11/24
 DRAWN BY: JACOB A. HAUNINGER
 CHECKED BY: JACOB A. HAUNINGER
 DATE: 11/11/24

RLG CONSULTING ENGINEERS
 12004 N. CENTRAL EXPRESSWAY #300 DALLAS, TX 75243
 825 W. Victory Boulevard #105 FORT WORTH, TX 76104
 WWW.RLG.COM TEL: 714.463.7403

DRIVE D PLAN & PROFILE
CLEBURNE RESIDENTIAL
 1501 PARK BLVD
 CLEBURNE, TX, 76033
 JOHNSON COUNTY, TEXAS

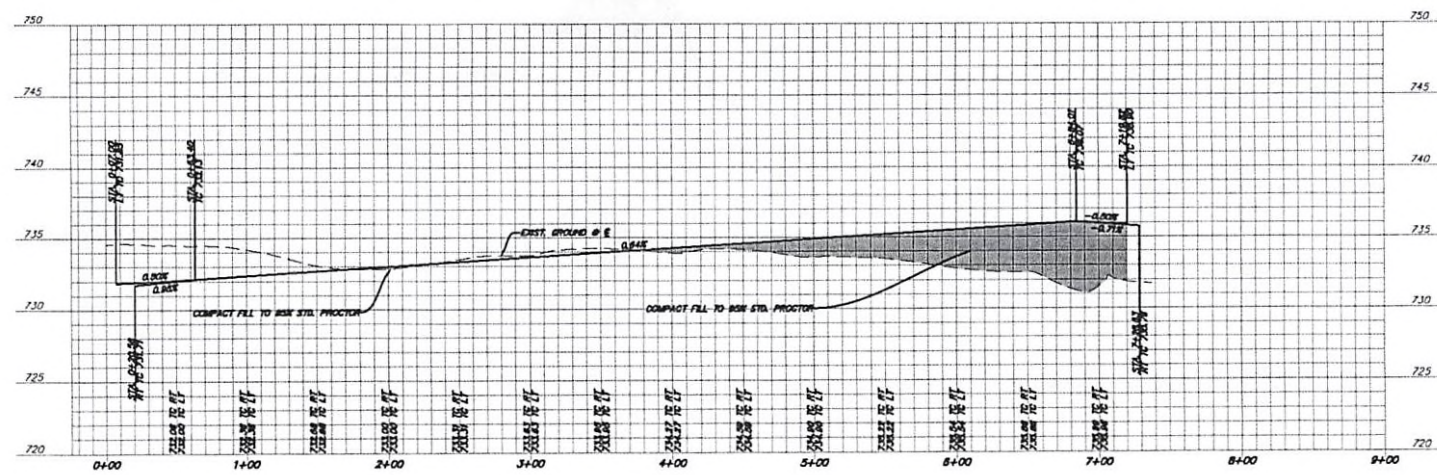
REVISION	DRAWN	DATE	FILE NUMBER	SHEET
RLG	RLG	4/18/2024	2223	007

C02.08



- LEGEND**
- CONSTRUCT 6" 3000psi REINFORCED CONCRETE PAVEMENT PER TYPICAL DRIVEWAY SECTION DETAIL ON SHEET C02.05
 - CONSTRUCT 6" 3000psi REINFORCED CONCRETE PAVEMENT WITH JO BARS @ 18" O.C.E.R.
 - CONSTRUCT 6" H.A.L.C. (INSTALL 1" TYPE "D" H.A.L.C. OVER 4" TYPE "A" H.A.L.C. OVER 4" SUBGRADE)
 - LIMITS OF PAVEMENT SAWCUT
 - MATCH EXISTING PAVEMENT GRADE

- NOTES**
1. The existing utilities shown on these plans were compiled from various sources and are intended to show the general existence and location of the utilities as the plans. All existing utilities may not be shown on the plans.
 2. The locations of existing utilities stipulated on the plans are approximate. It shall be the Contractor's responsibility to verify all utility locations prior to construction. Utilities damaged by the Contractor during construction shall be repaired to as good or better condition, at the Contractor's expense.
 3. Call 1-800-344-6377 (DIXIESS) or other utility location service at least 48 hrs. prior to construction activity. RLG is not responsible for locating all of the existing utilities or depicting exact locations on all drawings.
 4. Contractor shall protect all trees, fences, retaining walls, and other structures unless otherwise noted.
 5. All curb rolls shall be 25' to Face of Curb unless otherwise noted.
 6. Refer to the geotechnical report for pavement strength and specifications.



RLG CONSULTING ENGINEERS
 12001 N. CENTRAL EXPRESSWAY #200 DALLAS, TX 75243
 925 W. VICKERY DRIVE SUITE #100 FORT WORTH, TX 76104
 WWW.RLGCNC.COM TYPE FIRM REG. F-463

DRIVE E PLAN & PROFILE
 CLEBURNE RESIDENTIAL
 1501 PARK BLVD
 CLEBURNE, TX, 76033
 JOHNSON COUNTY, TEXAS

REVIEW	DRAWN	DATE	P.L.	NUMBER	SHEET
RLG	RLG	4/18/2024	2223	007	C02.09

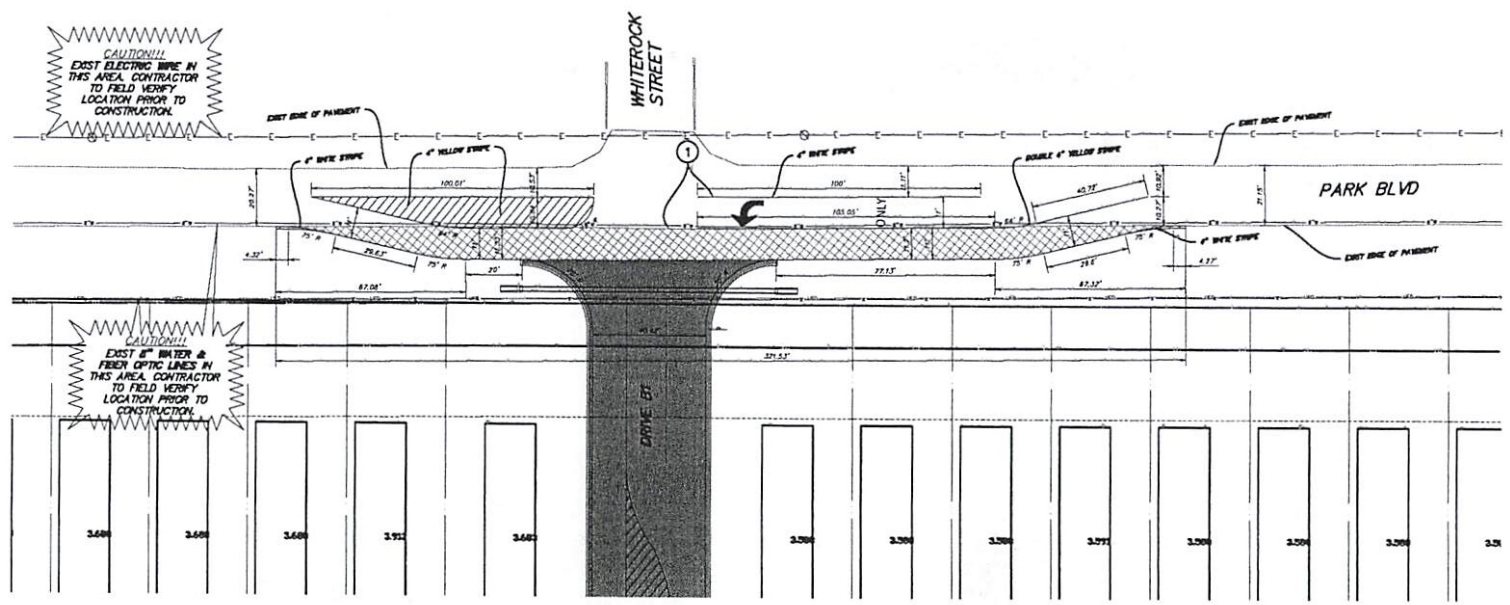
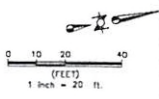


REVISIONS

01: 5" Plan Plot w/ 100' Surveying Grid
 W. 07/20/24
 E. 2/20/24
 P. 7/8/24

02: 10" Plot in Presentation
 W. 08/08/24
 E. 2/20/24
 P. 7/8/24






3/18/2024 10:41:13 AM C:\Users\jamason\OneDrive - RLG Consulting Engineers\Documents\Projects\Cleburne Residential\Drive E\Drive E Plan & Profile.dwg



CAUTION!!!
EXIST ELECTRICAL WIRE IN THIS AREA. CONTRACTOR TO FIELD VERIFY LOCATION PRIOR TO CONSTRUCTION.

CAUTION!!!
EXIST 6" WATER & FIBER OPTIC LINES IN THIS AREA. CONTRACTOR TO FIELD VERIFY LOCATION PRIOR TO CONSTRUCTION.

LEGEND

-  CONSTRUCT 6" 3000psi REINFORCED CONCRETE PAVEMENT PER TYPICAL DRIVEWAY SECTION DETAIL ON SHEET C02.08
-  CONSTRUCT 6" 3000psi REINFORCED CONCRETE PAVEMENT WITH #3 BARS @ 12" O.C.C.R.
-  CONSTRUCT 6" H.M.A.C. (INSTALL 2" TYPE "D" H.M.A.C. OVER 4" TYPE "A" H.M.A.C. OVER 6" SUBGRADE)
-  LIMITS OF PAVEMENT SAWCUT
-  MATCH EXISTING PAVEMENT GRADE


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RLG CONSULTING ENGINEERS
12001 N. CENTRAL EXPRESSWAY #300 DALLAS, TX 75243
955 W. WALSHY ROAD SUITE 101 FORT WORTH, TX 76104
WWW.RLGINC.COM TDFE TDFM REG. #4450

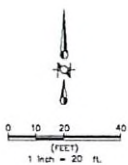
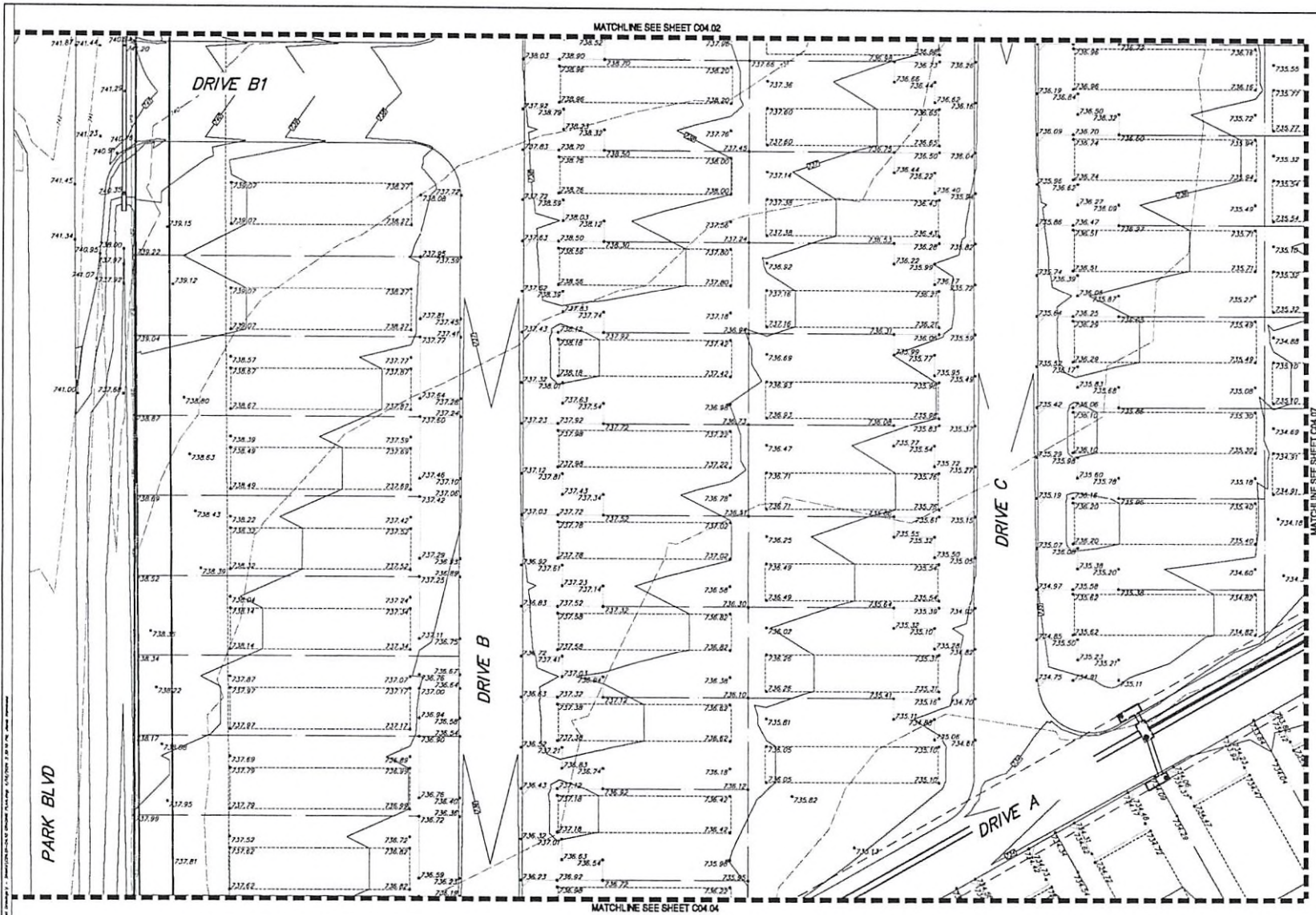
PARK BLVD. TURN LANE PLAN
CLEBURNE RESIDENTIAL
1501 PARK BLVD
CLEBURNE, TX, 76033
JOHNSON COUNTY, TEXAS

REVISIONS

001	1" from Plot of RLG Consulting Eng
002	R. 8/20/2024
003	E. 2/20/2024
004	Z. 7/28/24
005	Call in Payment
006	R. 8/20/2024
007	E. 8/20/2024
008	Z. 7/22/24

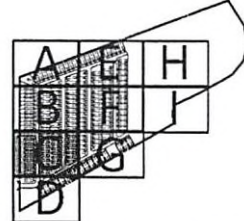


REVIEW	DRAWN	DATE	FILE	NUMBER	SHEET
RLG	RLG	4/18/2024	2223	007	C02.10



LEGEND

- Existing Contour Line
- Proposed Contour Line
- Existing Spot Elevation
- Calculated Spot Elevation
- Proposed Spot Elevation
- Limits of Pavement Sawcut



RLG CONSULTING ENGINEERS
 12001 N. CENTRAL EXPRESSWAY #200 DALLAS, TX 75243
 855 W. MEADOWS DRIVE #100 FORT WORTH, TX 76104
 WWW.RLGC.COM TDEP FIRM REG. F-403

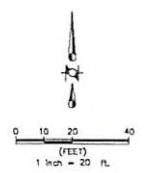
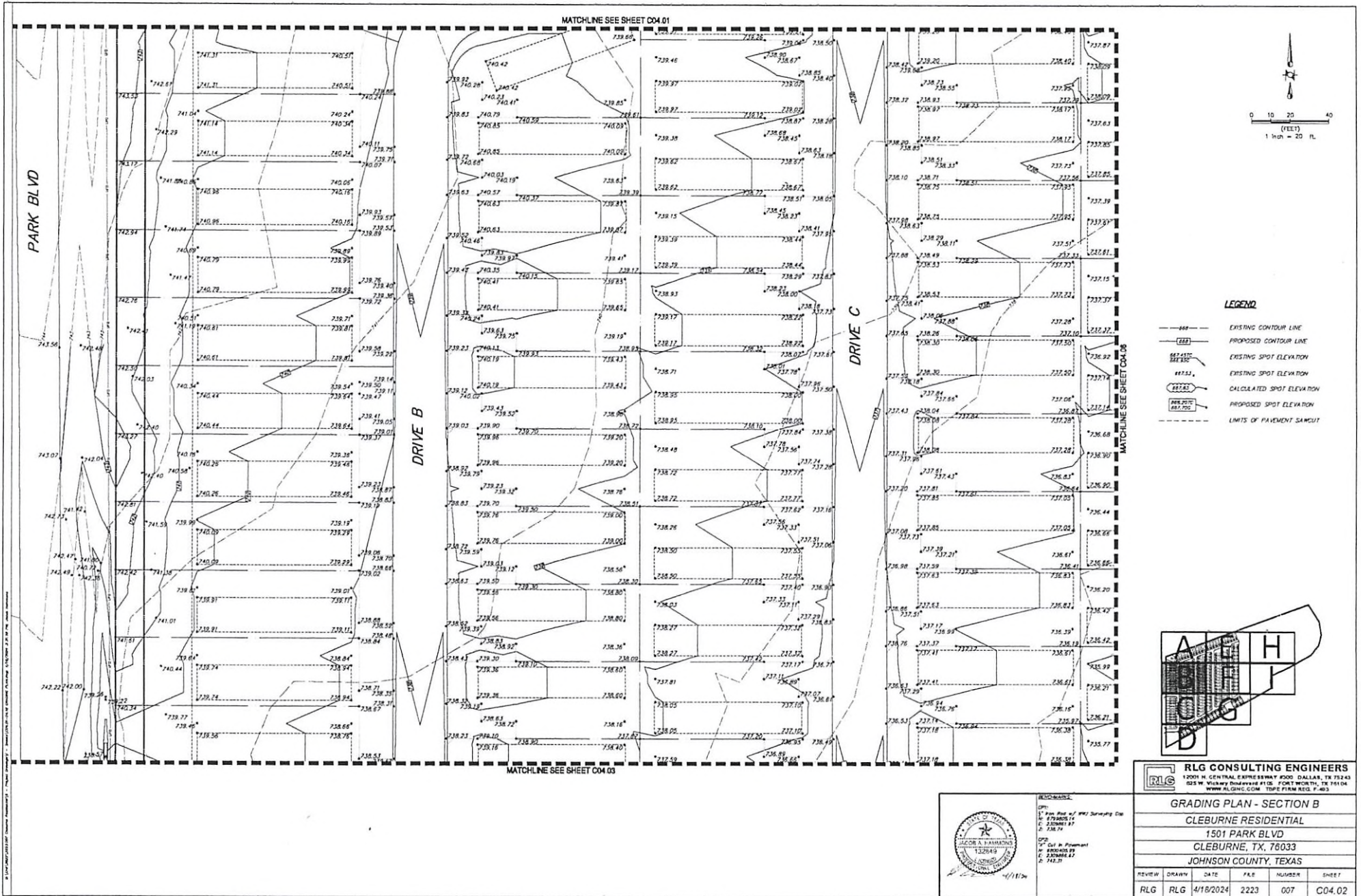
GRADING PLAN - SECTION C					
CLEBURNE RESIDENTIAL					
1501 PARK BLVD					
CLEBURNE, TX, 76033					
JOHNSON COUNTY, TEXAS					
REVIEW	DRAWN	DATE	FILE	NUMBER	SHEET
RLG	RLG	4/18/2024	2223	007	C04.03



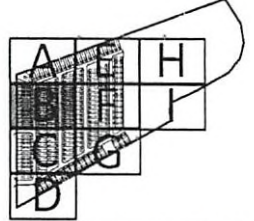
REVISIONS

01: Plan Book of 999 Surveying Co. in 9/2023 by P. SORRETT 07 0: 3:58 PM

02: Civil in Planbook in 9/2023 by C. SORRETT 07 0: 4:22 PM



- LEGEND**
- EXISTING CONTOUR LINE
 - PROPOSED CONTOUR LINE
 - 667.43C EXISTING SPOT ELEVATION
 - 667.53 EXISTING SPOT ELEVATION
 - 667.61 CALCULATED SPOT ELEVATION
 - 667.71 PROPOSED SPOT ELEVATION
 - 667.70C PROPOSED SPOT ELEVATION
 - LIMITS OF PAVEMENT SAWCUT



RLG CONSULTING ENGINEERS
 12001 N. CENTRAL EXPRESSWAY #300 DALLAS, TX 75243
 625 W. WICKLIFF BOULEVARD #128 FORT WORTH, TX 76104
 WWW.RLGC.COM TPOE FIRM REG. P-403

GRADING PLAN - SECTION B
CLEBURNE RESIDENTIAL
 1501 PARK BLVD
 CLEBURNE, TX, 76033
 JOHNSON COUNTY, TEXAS

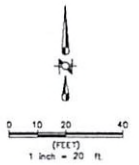
REVIEW	DRAWN	DATE	FILE	NUMBER	SHEET
RLG	RLG	4/18/2024	2223	007	C04.02



REVISIONS

01: 1" from Road of 1992 Striping Code
 A: 6/7/2024
 C: 2/20/2024
 D: 2/28/24

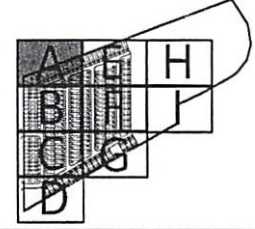
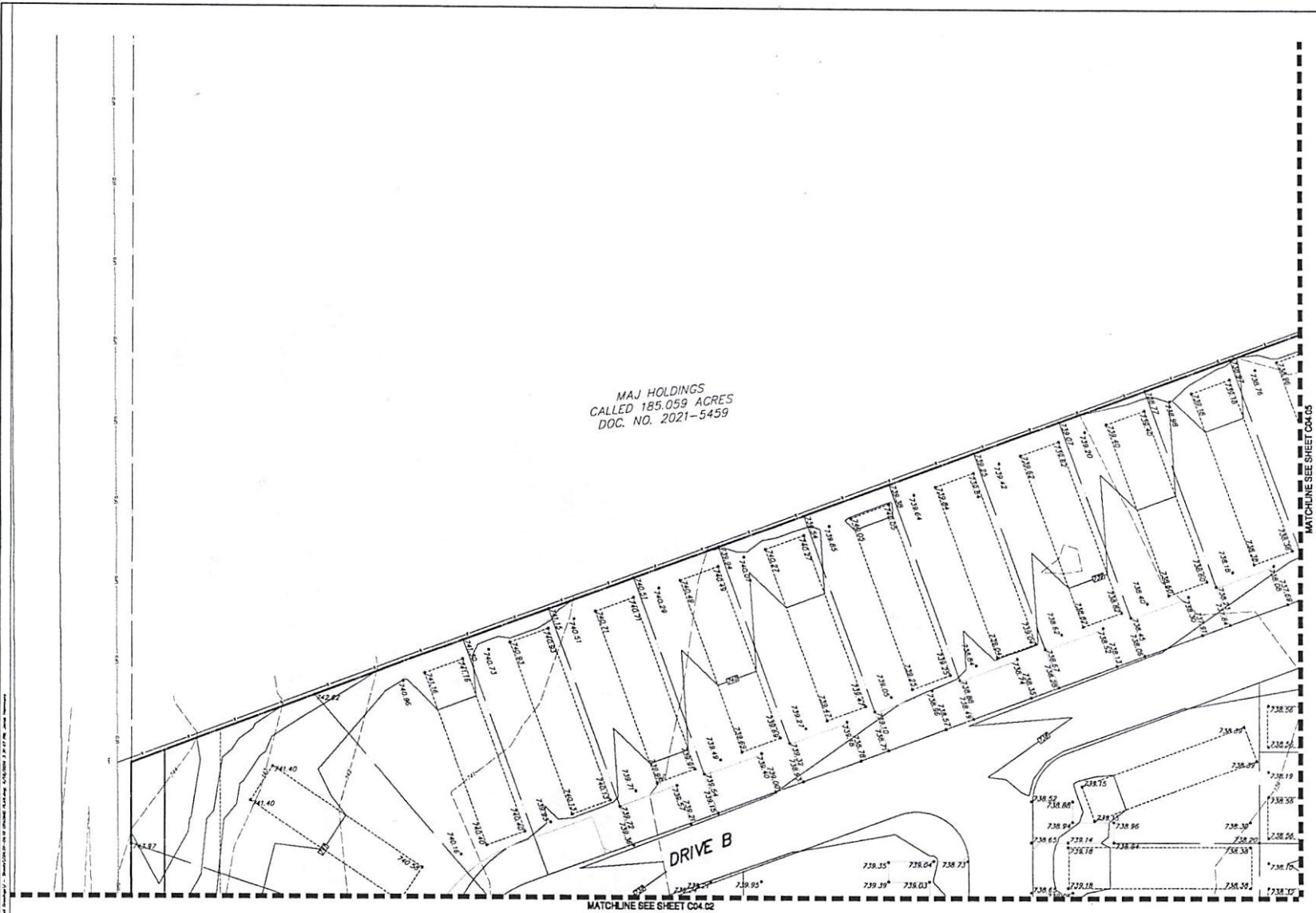
02: 0" Call in Payment
 A: 6/28/24
 E: 2/20/24
 D: 4/2/24



MAJ HOLDINGS
CALLED 185.059 ACRES
DOC. NO. 2021-5459

LEGEND

- EXISTING CONTOUR LINE
- PROPOSED CONTOUR LINE
- EXISTING SPOT ELEVATION
- EXISTING SPOT ELEVATION
- CALCULATED SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- LIMITS OF PAYMENT SAWCUT



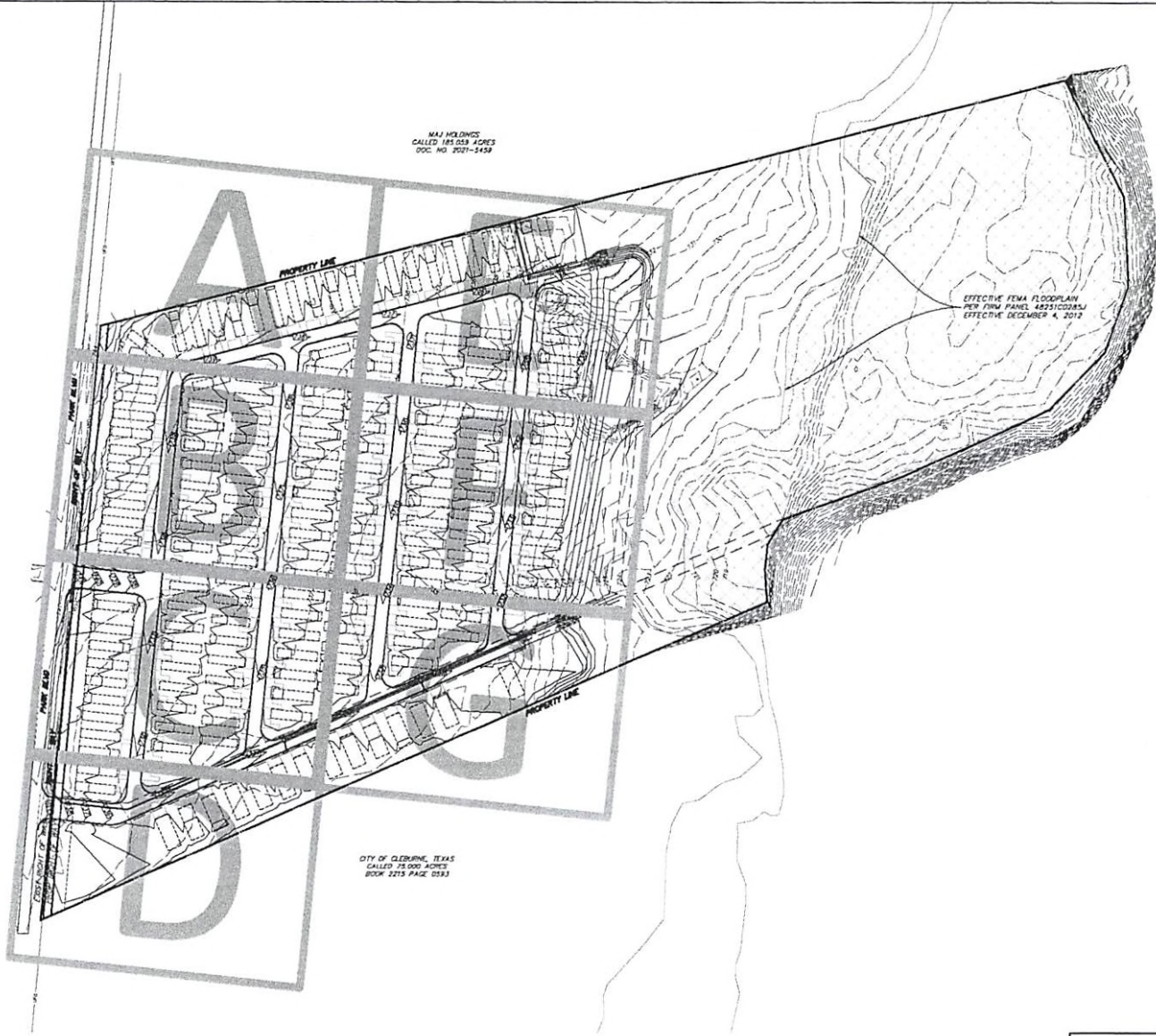
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 PLOT DATE: 4/18/2024 10:48:11 AM
 PLOT BY: JACOB A. HANCOCK
 PLOT SCALE: 1/8" = 1'-0"

MATCHLINE SEE SHEET C04.02



R:\2024\20240418\20240418_1501_Park_Bldg\1501_Park_Bldg_C04.01.dwg
 1501_Park_Bldg_C04.01.dwg
 4/18/2024 10:48:11 AM
 JACOB A. HANCOCK
 132649
 CIVIL ENGINEER
 STATE OF TEXAS
 4/11/24

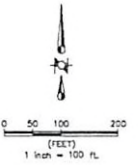
RLG CONSULTING ENGINEERS 1200 N. CENTRAL EXPRESSWAY #200 DALLAS, TX 75243 102 W. WALKER DRIVE #100 FORT WORTH, TX 76104 WWW.RLGINC.COM TEXAS FIRM REG. F-403					
GRADING PLAN - SECTION A					
CLEBURNE RESIDENTIAL					
1501 PARK BLVD CLEBURNE, TX, 76033					
JOHNSON COUNTY, TEXAS					
REVIEW	DRAWN	DATE	FILE	NUMBER	SHEET
RLG	RLG	4/18/2024	2223	007	C04.01



MAJ HOLDINGS
CALLED 185 058 ACRES
DOC. NO. 2021-1459

EFFECTIVE FEMA FLOODPLAIN
PER FIRM PANEL 48251C0285J
EFFECTIVE DECEMBER 4, 2012

CITY OF CLEBURNE, TEXAS
CALLED 75 000 ACRES
BOOK 2213 PAGE 0183



LEGEND

- 100 --- EXISTING MAJOR CONTOUR LINE
- 200 --- PROPOSED MAJOR CONTOUR LINE

24/04/2024 10:11:11 AM - Project: 2223 - 1501 Park Blvd - Residential - Overall Grading Plan - 4/18/2024 10:11:11 AM

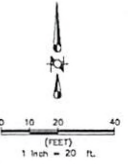
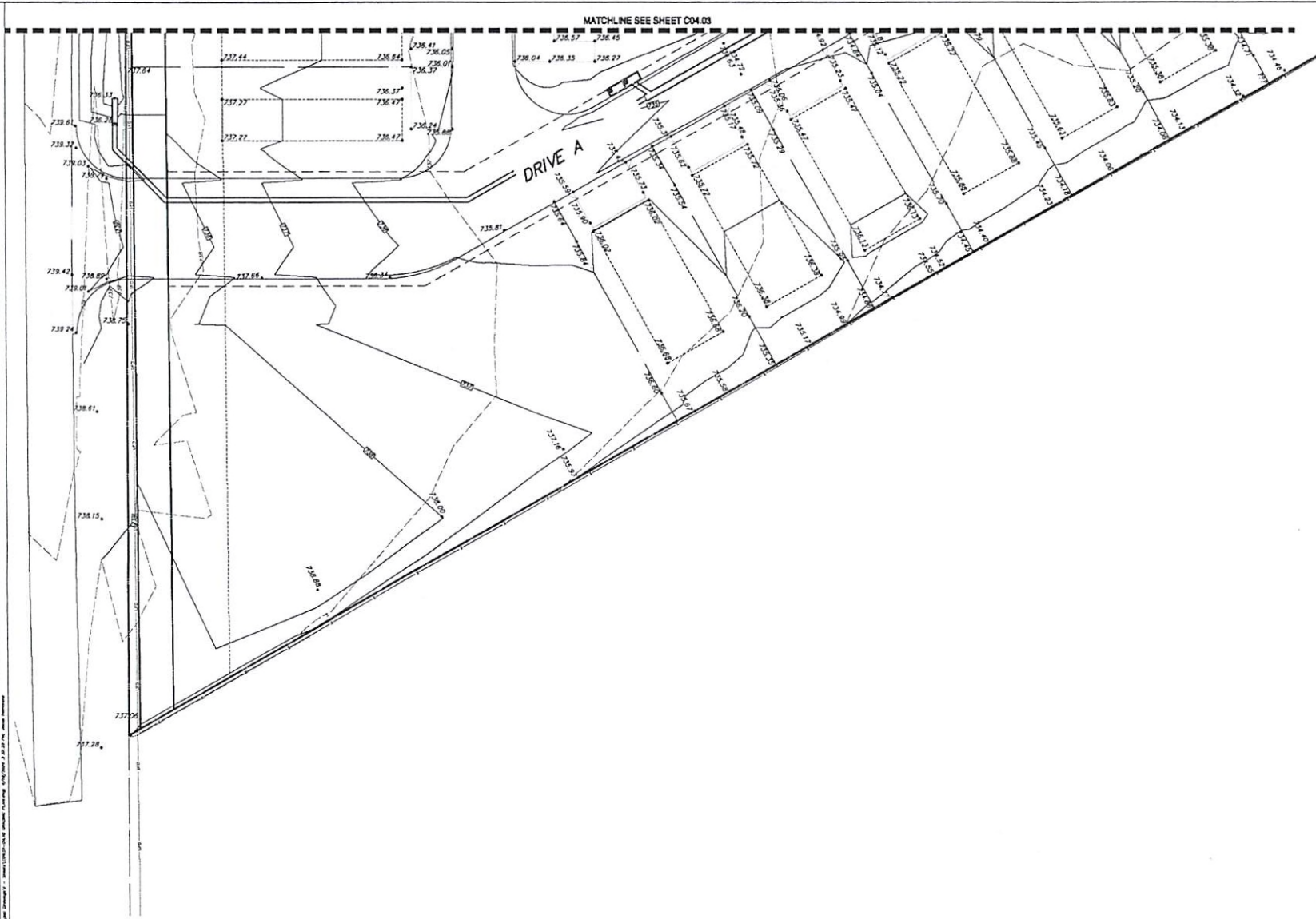


BENCHMARK
 CIP:
 1. 5'x5' Rod w/ 1/2" Surveying Cap
 N: 879.6851 ft
 E: 230.981 ft
 Z: 736.74

 CIP:
 1. 5'x5' Rod w/ 1/2" Surveying Cap
 N: 879.405 ft
 E: 230.981 ft
 Z: 742.31

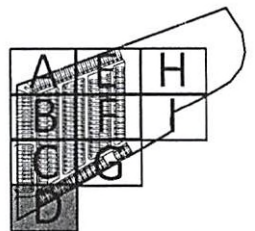
RLG CONSULTING ENGINEERS 12001 N. CENTRAL EXPRESSWAY #500 DALLAS, TX 75243 825 W. WICKLIFF BOULEVARD #102 FORT WORTH, TX 76104 WWW.RLGINC.COM TDSI FIRM REG. F-463					
OVERALL GRADING PLAN					
CLEBURNE RESIDENTIAL					
1501 PARK BLVD					
CLEBURNE, TX, 76033					
JOHNSON COUNTY, TEXAS					
REVIEW	DRAWN	DATE	FILE	NUMBER	SHEET
RLG	RLG	4/18/2024	2223	007	C04.00

MATCHLINE SEE SHEET C04.03



LEGEND

- Existing Contour Line
- - - Proposed Contour Line
- 887.41C Existing Spot Elevation
- 887.53 Existing Spot Elevation
- 887.53 Calculated Spot Elevation
- 886.20C Proposed Spot Elevation
- - - Limits of Pavement Sawcut



RLG CONSULTING ENGINEERS
 12001 N. CENTRAL EXPRESSWAY #200 DALLAS, TX 75243
 805 W. VICKERY BOULEVARD #100 FORT WORTH, TX 76104
 WWW.RLGINC.COM TDP&E FIRM REG. P-403

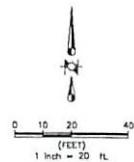


REVISIONS

001	1" Plan Part of RLG Surveying Co
002	07/20/2014
003	01/20/2017
004	01/26/2017
005	02/01/2017
006	02/01/2017
007	02/01/2017
008	02/01/2017
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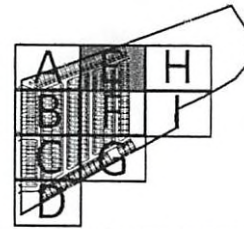
GRADING PLAN - SECTION D
CLEBURNE RESIDENTIAL
 1501 PARK BLVD
 CLEBURNE, TX, 76033
 JOHNSON COUNTY, TEXAS

REVIEW	DRAWN	DATE	P.L.S.	NUMBER	SHEET
RLG	RLG	4/18/2024	2223	007	C04.04



LEGEND

- 668 --- EXISTING CONTOUR LINE
- 668 --- PROPOSED CONTOUR LINE
- 667.430 EXISTING SPOT ELEVATION
- 667.53 EXISTING SPOT ELEVATION
- 667.63 CALCULATED SPOT ELEVATION
- 667.73 PROPOSED SPOT ELEVATION
- 667.70 --- LIMITS OF PAVEMENT SAWCUT



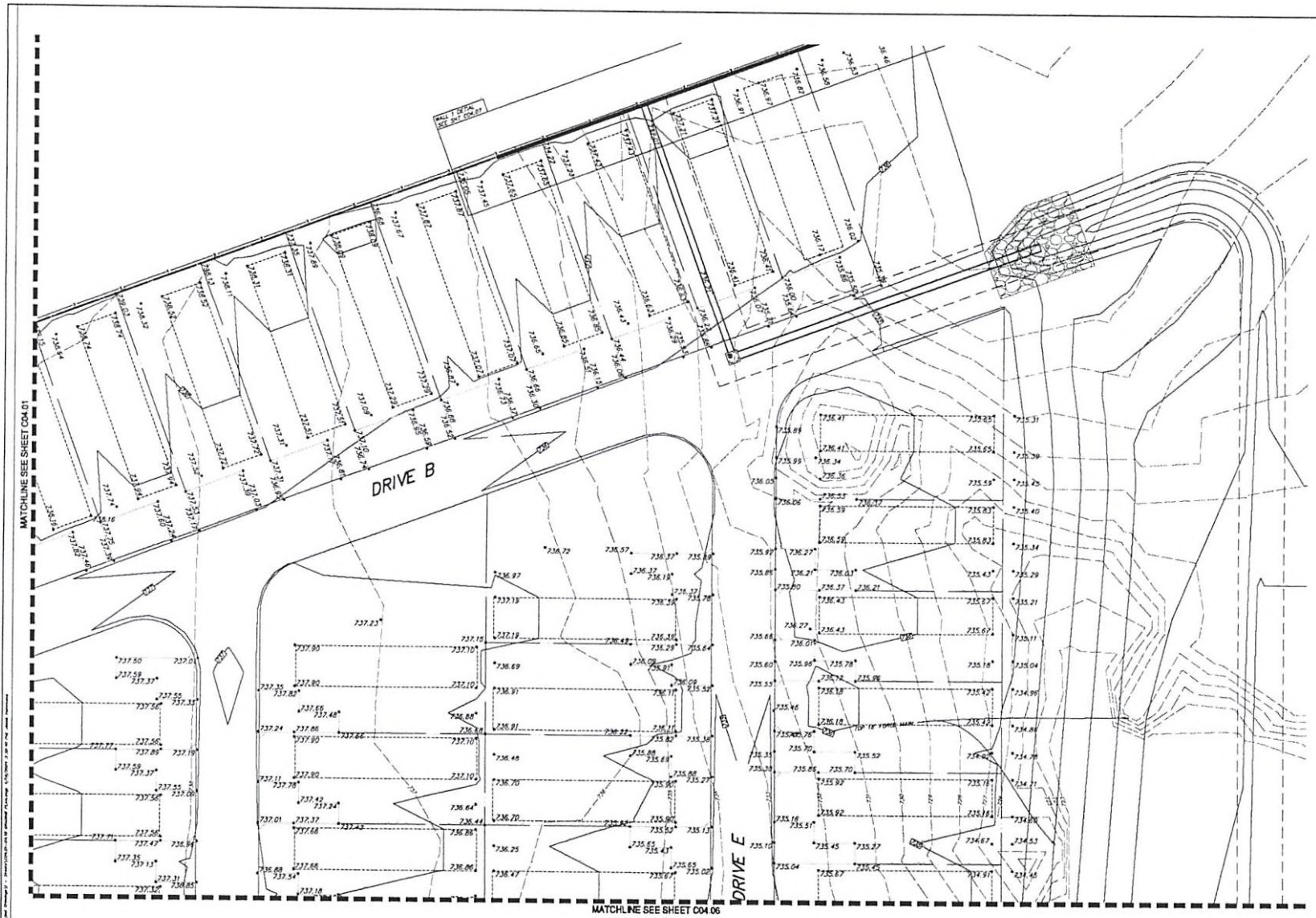
RLG CONSULTING ENGINEERS
 1200 N. CENTRAL EXPRESSWAY #500 DALLAS, TX 75245
 828 W. VICKERY BOULEVARD #100 FORT WORTH, TX 76104
 WWW.RLGINC.COM TDFE FIRM REG. F-463

GRADING PLAN - SECTION E
 CLEBURNE RESIDENTIAL
 1501 PARK BLVD
 CLEBURNE, TX, 76033
 JOHNSON COUNTY, TEXAS

REVIEW	DRAWN	DATE	P.R.	NUMBER	SHEET
RLG	RLG	4/18/2024	2223	007	C04.05



RECORDS:
 1. From Plat of WW Sewerage Ctr
 W. PARKWAY
 F. EXHIBIT 17
 D. 7-8-79
 2. Cut in Pavement
 W. PARKWAY
 F. EXHIBIT 17
 D. 7-8-79

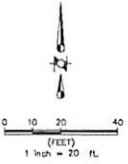
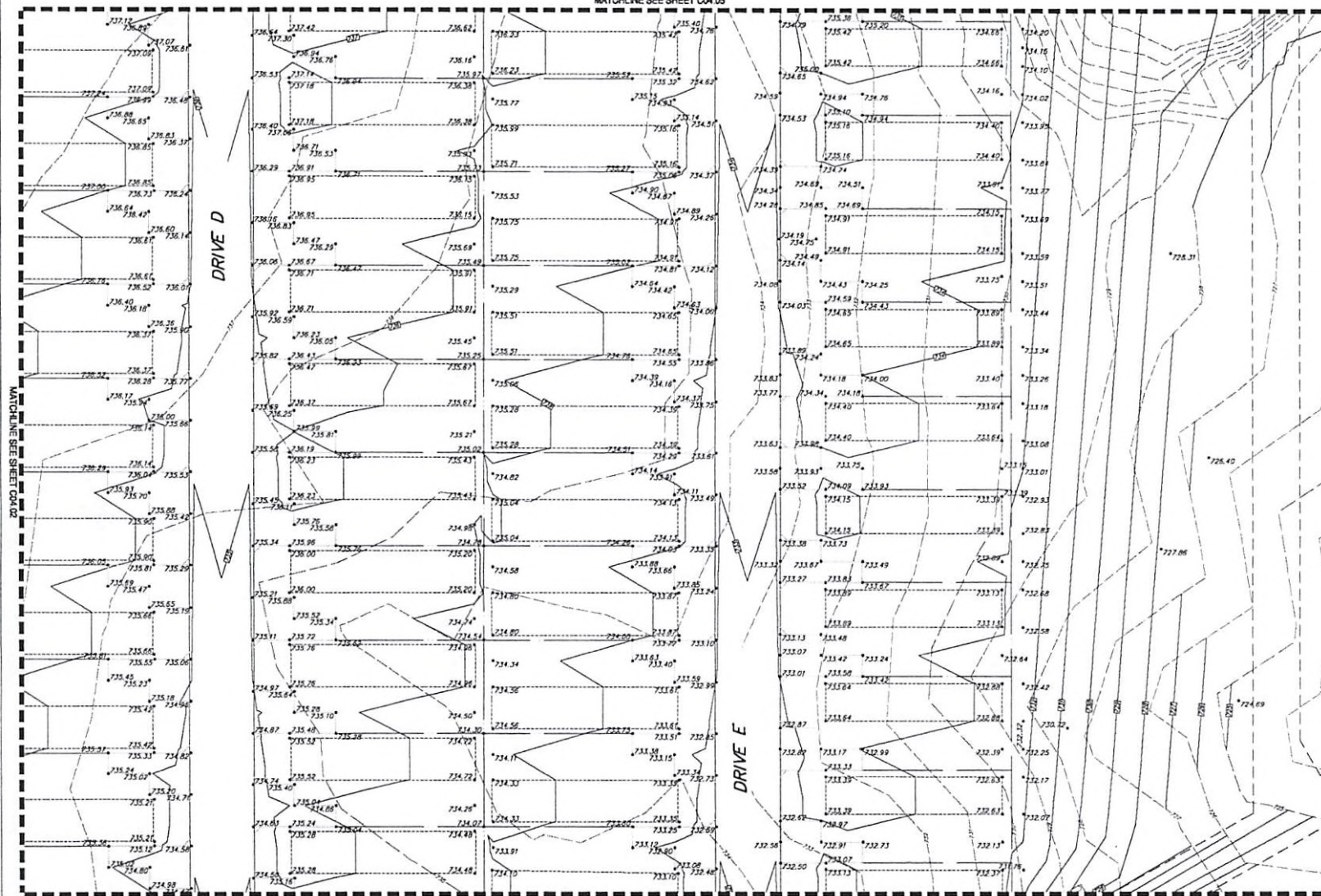


MATCHLINE SEE SHEET C04.01

MATCHLINE SEE SHEET C04.06

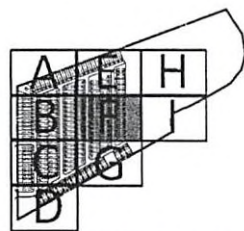
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MATCHLINE SEE SHEET C04.05



LEGEND

- EXISTING CONTOUR LINE
- PROPOSED CONTOUR LINE
- EXISTING SPOT ELEVATION
- CALCULATED SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- LIMITS OF PAVEMENT SUBCUT



MATCHLINE SEE SHEET C04.07

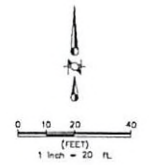
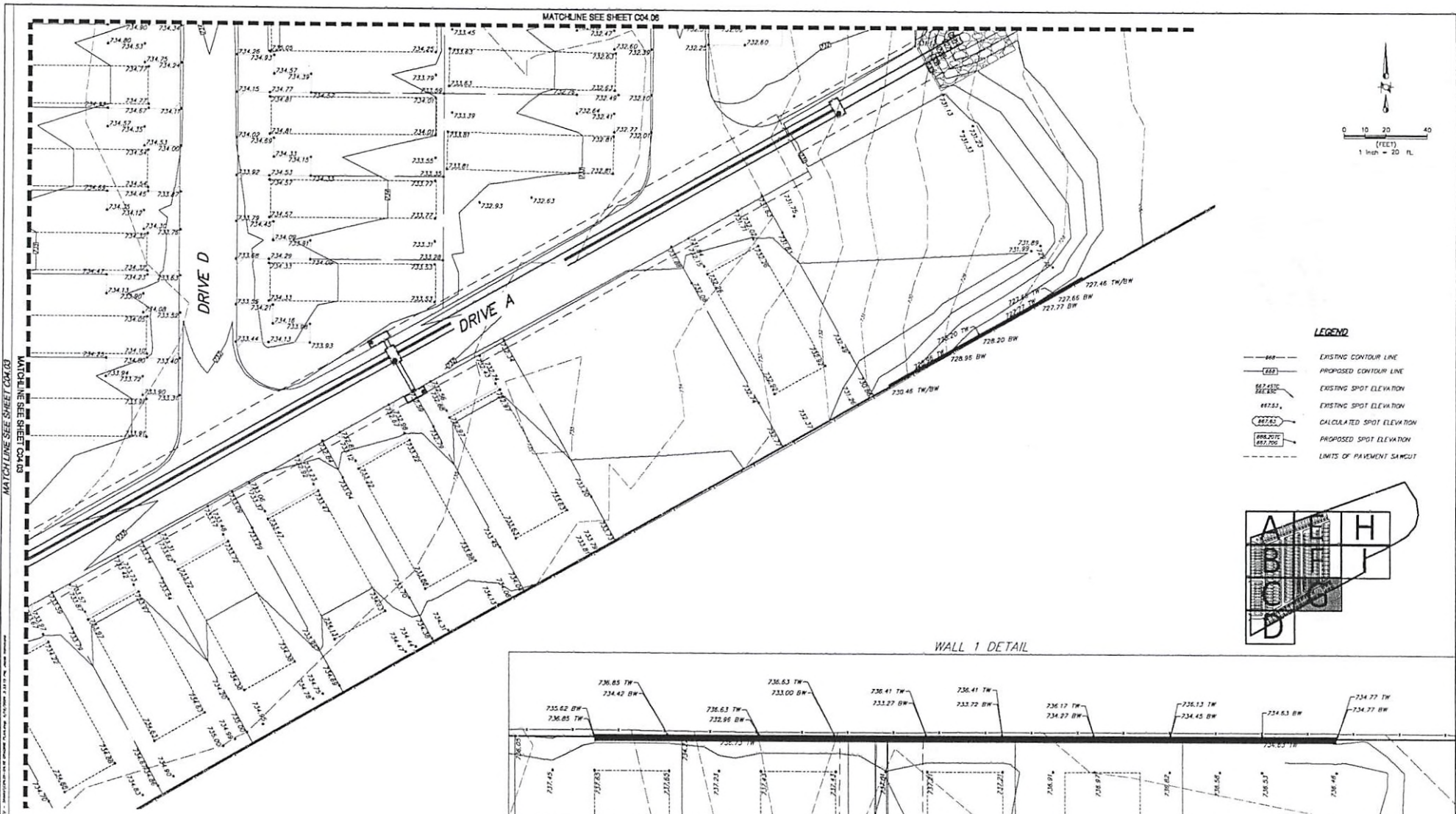
RLG CONSULTING ENGINEERS
 17001 W. CENTRAL EXPRESSWAY #200 DALLAS, TX 75243
 625 W. VICKERY BLVD SUITE #100 FORT WORTH, TX 76104
 WWW.RLGCON.COM TSP# FIRM REG. F-403

GRADING PLAN - SECTION F
 CLEBURNE RESIDENTIAL
 1501 PARK BLVD
 CLEBURNE, TX, 76033
 JOHNSON COUNTY, TEXAS

REVIEW	DRAWN	DATE	FILE	NUMBER	SHEET
RLG	RLG	4/18/2024	2223	007	C04.06

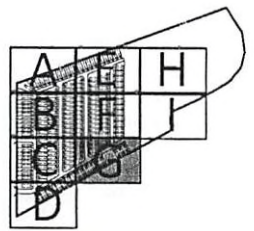


RECOMMEND:
 1. For Plot of 007 Surveying Co.
 2. 07/20/24
 3. 22/20/24
 4. 22/20/24
 5. 22/20/24
 6. 22/20/24

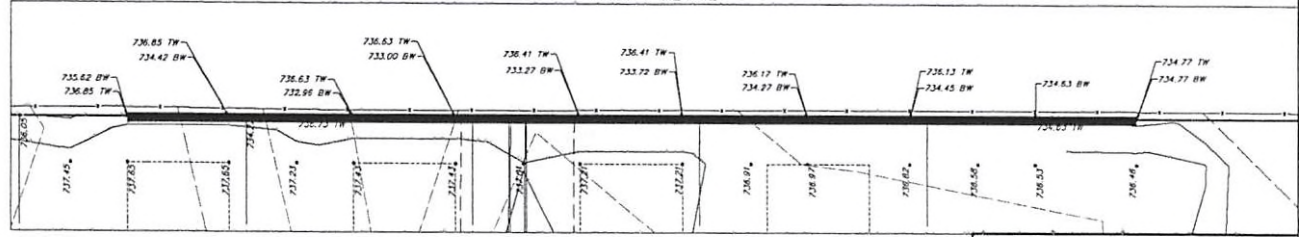


LEGEND

- EXISTING CONTOUR LINE
- PROPOSED CONTOUR LINE
- EXISTING SPOT ELEVATION
- EXISTING SPOT ELEVATION
- CALCULATED SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- LIMITS OF PAVEMENT SAMWUT



WALL 1 DETAIL



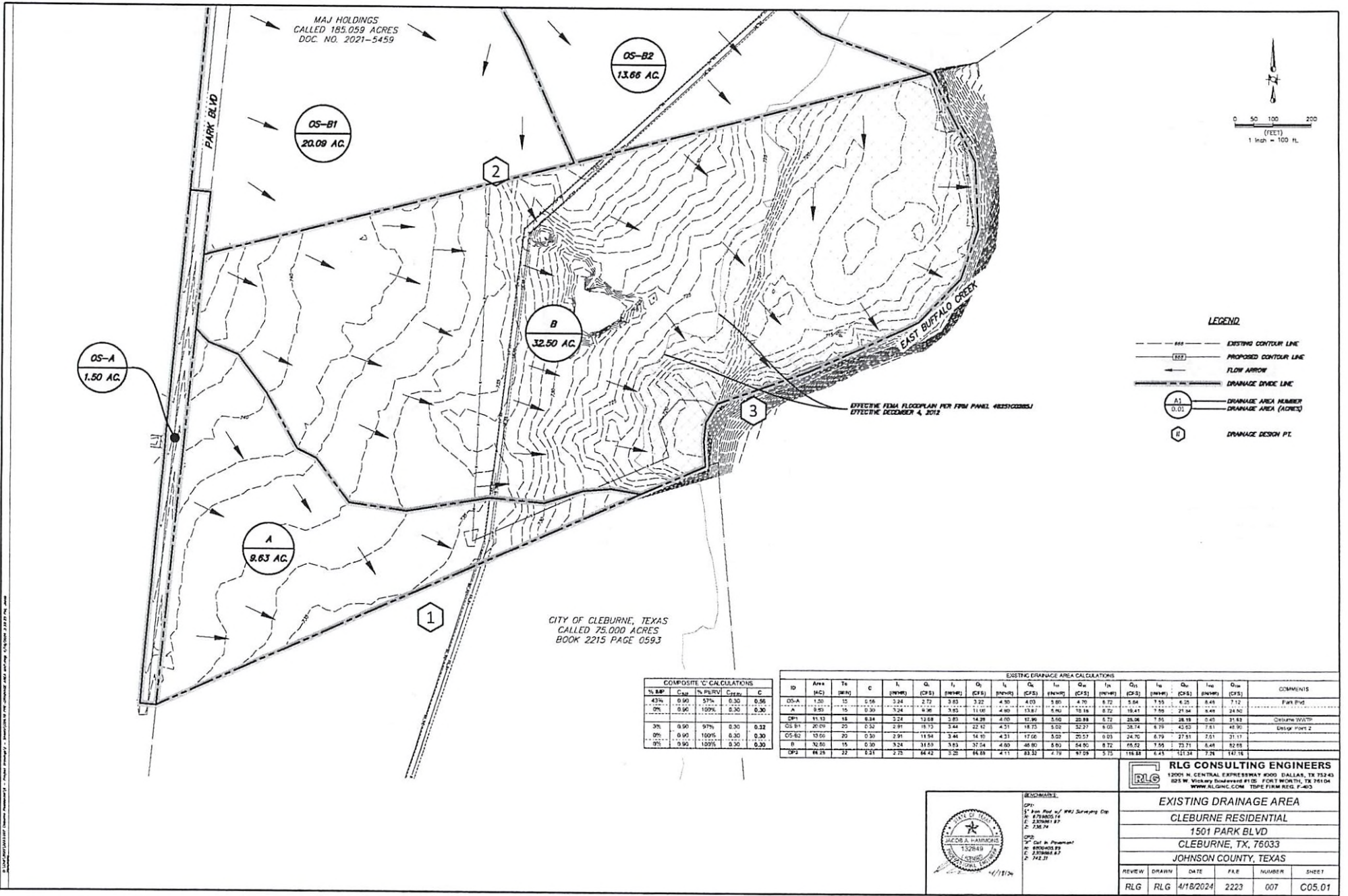
RLG CONSULTING ENGINEERS
 12001 N. CENTRAL EXPRESSWAY #300 DALLAS, TX 75243
 525 W. WICKLIFF BOULEVARD #102 FORT WORTH, TX 76104
 WWW.RLGINC.COM TYPE FIRM REG. F-403

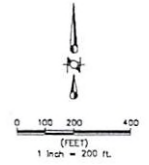
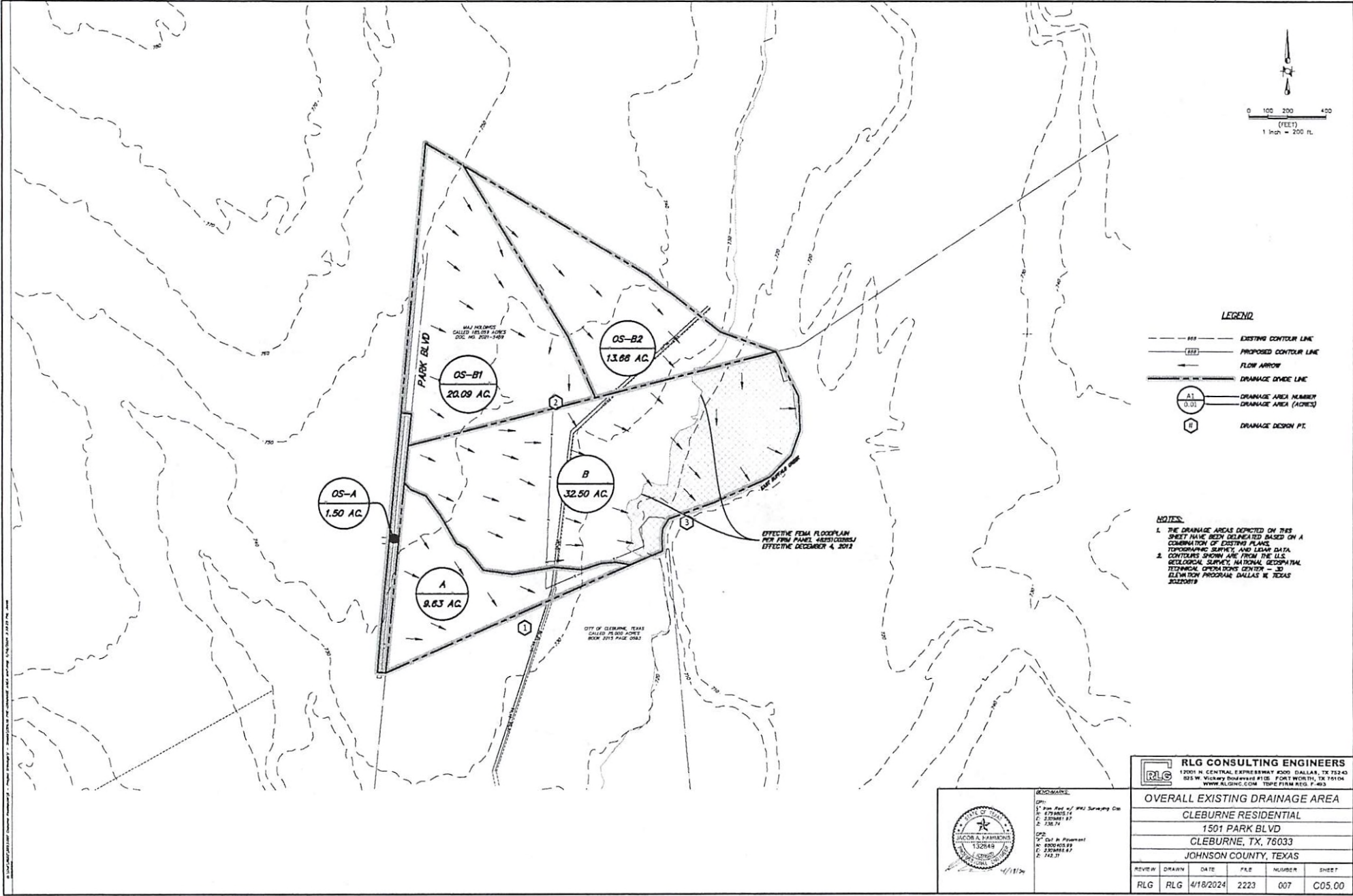
GRADING PLAN - SECTION G
 CLEBURNE RESIDENTIAL
 1501 PARK BLVD
 CLEBURNE, TX, 76033
 JOHNSON COUNTY, TEXAS



REVISIONS
 01: 1" Plan Rev. of W&J Surveying Co.
 A: 07/08/14
 B: 02/08/17
 C: 2/8/19
 02: 1" Plan Rev. of W&J Surveying Co.
 H: 06/08/19
 I: 02/08/21
 J: 1/2/21

REVIEW	DRAWN	DATE	FILE	NUMBER	SHEET
RLG	RLG	4/18/2024	2223	007	C04.07





LEGEND

- EXISTING CONTOUR LINE
- PROPOSED CONTOUR LINE
- FLOW ARROW
- DRAINAGE DIVIDE LINE
- OS-1
0.01 --- DRAINAGE AREA NUMBER
--- DRAINAGE AREA (ACRES)
- ① --- DRAINAGE DESIGN PT.

NOTES

1. THE DRAINAGE AREAS DEPICTED ON THIS SHEET HAVE BEEN DETERMINED BASED ON A COMBINATION OF EXISTING PLANS, TOPOGRAPHIC SURVEY, AND LEAS DATA.
2. CONTOURS SHOWN ARE FROM THE U.S. GEOLOGICAL SURVEY, NATIONAL GEOSPATIAL TECHNICAL CENTER CENTER -- 3D ELEVATION PROGRAM, DALLAS IN TEXAS 30220079.

RLG CONSULTING ENGINEERS
 12001 N. CENTRAL EXPRESSWAY #200 DALLAS, TX 75243
 825 W. WICKHAM BOULEVARD #102 FORT WORTH, TX 76104
 WWW.RLGINC.COM TSP# FIRM REG. F-463

OVERALL EXISTING DRAINAGE AREA
 CLEBURNE RESIDENTIAL
 1501 PARK BLVD
 CLEBURNE, TX, 76033
 JOHNSON COUNTY, TEXAS

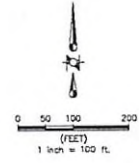


REVISIONS

NO.	DATE	DESCRIPTION
1	12/18/24	1. 100% Plan of 100% Surveying Co R. 679,802.74 C. 2,326,491.81 Z. 738.74
2	4/18/24	2. 100% Plan of 100% Surveying Co R. 679,802.74 C. 2,326,491.81 Z. 742.31

REVIEW	DRAWN	DATE	FILE	NUMBER	SHEET
RLG	RLG	4/18/2024	2223	007	C05.00

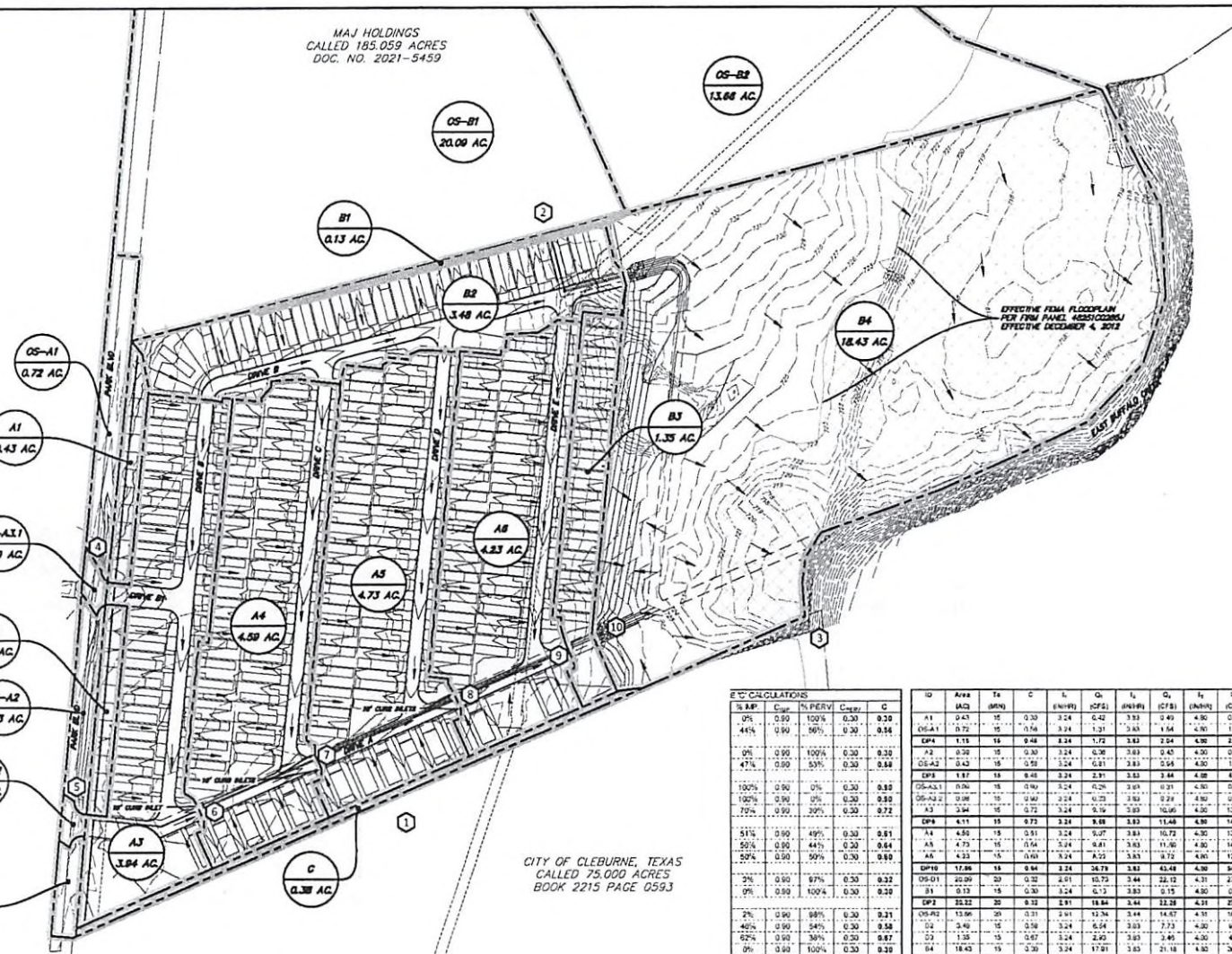
MAJ HOLDINGS
CALLED 185,059 ACRES
DOC. NO. 2021-5459



EFFECTIVE FEMA FLOODPLAIN
PER FEMA PANEL 460200001
EFFECTIVE DECEMBER 4, 2021

LEGEND

- 100 --- EXISTING CONTOUR LINE
- 100 --- PROPOSED CONTOUR LINE
- FLOW ARROW --- FLOW ARROW
- DRAINAGE DIVIDE LINE --- DRAINAGE DIVIDE LINE
- (A1) DRAINAGE AREA NUMBER
DRAINAGE AREA (ACRES)
- (#) DRAINAGE DESIGN P.E.



CITY OF CLEBURNE, TEXAS
CALLED 75,000 ACRES
BOOK 2215 PAGE 0593

R² CALCULATIONS

% IMP	C _{imp}	% PERV	C _{conv}	C
0%	0.90	100%	0.30	0.26
44%	0.90	90%	0.30	0.16
9%	0.90	100%	0.30	0.20
47%	0.90	53%	0.30	0.18
100%	0.90	0%	0.30	0.10
100%	0.90	0%	0.30	0.10
70%	0.90	30%	0.30	0.22
51%	0.90	49%	0.30	0.19
50%	0.90	44%	0.30	0.14
59%	0.90	50%	0.30	0.18
2%	0.90	97%	0.30	0.22
0%	0.90	100%	0.30	0.20
2%	0.90	99%	0.30	0.21
40%	0.90	54%	0.30	0.18
62%	0.90	38%	0.30	0.17
0%	0.90	100%	0.30	0.20
41%	0.90	59%	0.30	0.18
0%	0.90	100%	0.30	0.20

ID	Area (AC)	In	C	L	Q ₁ (CFS)	Q ₂ (CFS)	Q ₃ (CFS)	Q ₄ (CFS)	Q ₅ (CFS)	Q ₆ (CFS)	Q ₇ (CFS)	Q ₈ (CFS)	Q ₉ (CFS)	Q ₁₀ (CFS)	Q ₁₁ (CFS)	Q ₁₂ (CFS)	Q ₁₃ (CFS)	Q ₁₄ (CFS)	Q ₁₅ (CFS)	Q ₁₆ (CFS)	Q ₁₇ (CFS)	Q ₁₈ (CFS)	Q ₁₉ (CFS)	Q ₂₀ (CFS)	Q ₂₁ (CFS)	Q ₂₂ (CFS)	Q ₂₃ (CFS)	Q ₂₄ (CFS)	Q ₂₅ (CFS)	Q ₂₆ (CFS)	Q ₂₇ (CFS)	Q ₂₈ (CFS)	Q ₂₉ (CFS)	Q ₃₀ (CFS)	Q ₃₁ (CFS)	Q ₃₂ (CFS)	Q ₃₃ (CFS)	Q ₃₄ (CFS)	Q ₃₅ (CFS)	Q ₃₆ (CFS)	Q ₃₇ (CFS)	Q ₃₈ (CFS)	Q ₃₉ (CFS)	Q ₄₀ (CFS)	Q ₄₁ (CFS)	Q ₄₂ (CFS)	Q ₄₃ (CFS)	Q ₄₄ (CFS)	Q ₄₅ (CFS)	Q ₄₆ (CFS)	Q ₄₇ (CFS)	Q ₄₈ (CFS)	Q ₄₉ (CFS)	Q ₅₀ (CFS)	Q ₅₁ (CFS)	Q ₅₂ (CFS)	Q ₅₃ (CFS)	Q ₅₄ (CFS)	Q ₅₅ (CFS)	Q ₅₆ (CFS)	Q ₅₇ (CFS)	Q ₅₈ (CFS)	Q ₅₉ (CFS)	Q ₆₀ (CFS)	Q ₆₁ (CFS)	Q ₆₂ (CFS)	Q ₆₃ (CFS)	Q ₆₄ (CFS)	Q ₆₅ (CFS)	Q ₆₆ (CFS)	Q ₆₇ (CFS)	Q ₆₈ (CFS)	Q ₆₉ (CFS)	Q ₇₀ (CFS)	Q ₇₁ (CFS)	Q ₇₂ (CFS)	Q ₇₃ (CFS)	Q ₇₄ (CFS)	Q ₇₅ (CFS)	Q ₇₆ (CFS)	Q ₇₇ (CFS)	Q ₇₈ (CFS)	Q ₇₉ (CFS)	Q ₈₀ (CFS)	Q ₈₁ (CFS)	Q ₈₂ (CFS)	Q ₈₃ (CFS)	Q ₈₄ (CFS)	Q ₈₅ (CFS)	Q ₈₆ (CFS)	Q ₈₇ (CFS)	Q ₈₈ (CFS)	Q ₈₉ (CFS)	Q ₉₀ (CFS)	Q ₉₁ (CFS)	Q ₉₂ (CFS)	Q ₉₃ (CFS)	Q ₉₄ (CFS)	Q ₉₅ (CFS)	Q ₉₆ (CFS)	Q ₉₇ (CFS)	Q ₉₈ (CFS)	Q ₉₉ (CFS)	Q ₁₀₀ (CFS)	Q ₁₀₁ (CFS)	Q ₁₀₂ (CFS)	Q ₁₀₃ (CFS)	Q ₁₀₄ (CFS)	Q ₁₀₅ (CFS)	Q ₁₀₆ (CFS)	Q ₁₀₇ (CFS)	Q ₁₀₈ (CFS)	Q ₁₀₉ (CFS)	Q ₁₁₀ (CFS)	Q ₁₁₁ (CFS)	Q ₁₁₂ (CFS)	Q ₁₁₃ (CFS)	Q ₁₁₄ (CFS)	Q ₁₁₅ (CFS)	Q ₁₁₆ (CFS)	Q ₁₁₇ (CFS)	Q ₁₁₈ (CFS)	Q ₁₁₉ (CFS)	Q ₁₂₀ (CFS)	Q ₁₂₁ (CFS)	Q ₁₂₂ (CFS)	Q ₁₂₃ (CFS)	Q ₁₂₄ (CFS)	Q ₁₂₅ (CFS)	Q ₁₂₆ (CFS)	Q ₁₂₇ (CFS)	Q ₁₂₈ (CFS)	Q ₁₂₉ (CFS)	Q ₁₃₀ (CFS)	Q ₁₃₁ (CFS)	Q ₁₃₂ (CFS)	Q ₁₃₃ (CFS)	Q ₁₃₄ (CFS)	Q ₁₃₅ (CFS)	Q ₁₃₆ (CFS)	Q ₁₃₇ (CFS)	Q ₁₃₈ (CFS)	Q ₁₃₉ (CFS)	Q ₁₄₀ (CFS)	Q ₁₄₁ (CFS)	Q ₁₄₂ (CFS)	Q ₁₄₃ (CFS)	Q ₁₄₄ (CFS)	Q ₁₄₅ (CFS)	Q ₁₄₆ (CFS)	Q ₁₄₇ (CFS)	Q ₁₄₈ (CFS)	Q ₁₄₉ (CFS)	Q ₁₅₀ (CFS)	Q ₁₅₁ (CFS)	Q ₁₅₂ (CFS)	Q ₁₅₃ (CFS)	Q ₁₅₄ (CFS)	Q ₁₅₅ (CFS)	Q ₁₅₆ (CFS)	Q ₁₅₇ (CFS)	Q ₁₅₈ (CFS)	Q ₁₅₉ (CFS)	Q ₁₆₀ (CFS)	Q ₁₆₁ (CFS)	Q ₁₆₂ (CFS)	Q ₁₆₃ (CFS)	Q ₁₆₄ (CFS)	Q ₁₆₅ (CFS)	Q ₁₆₆ (CFS)	Q ₁₆₇ (CFS)	Q ₁₆₈ (CFS)	Q ₁₆₉ (CFS)	Q ₁₇₀ (CFS)	Q ₁₇₁ (CFS)	Q ₁₇₂ (CFS)	Q ₁₇₃ (CFS)	Q ₁₇₄ (CFS)	Q ₁₇₅ (CFS)	Q ₁₇₆ (CFS)	Q ₁₇₇ (CFS)	Q ₁₇₈ (CFS)	Q ₁₇₉ (CFS)	Q ₁₈₀ (CFS)	Q ₁₈₁ (CFS)	Q ₁₈₂ (CFS)	Q ₁₈₃ (CFS)	Q ₁₈₄ (CFS)	Q ₁₈₅ (CFS)	Q ₁₈₆ (CFS)	Q ₁₈₇ (CFS)	Q ₁₈₈ (CFS)	Q ₁₈₉ (CFS)	Q ₁₉₀ (CFS)	Q ₁₉₁ (CFS)	Q ₁₉₂ (CFS)	Q ₁₉₃ (CFS)	Q ₁₉₄ (CFS)	Q ₁₉₅ (CFS)	Q ₁₉₆ (CFS)	Q ₁₉₇ (CFS)	Q ₁₉₈ (CFS)	Q ₁₉₉ (CFS)	Q ₂₀₀ (CFS)
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FLOODPLAIN NOTE:
REFER TO THE CLEBURNE RESIDENTIAL
FLOOD STUDY OF EAST BUFFALO CREEK BY
CARDINAL SIMATJES, DATED DECEMBER 6,
2021. THIS STUDY EXAMINES THE IMPACT
OF THIS DEVELOPMENT ON EAST BUFFALO
CREEK AND THE FLOODPLAIN THEREOF.

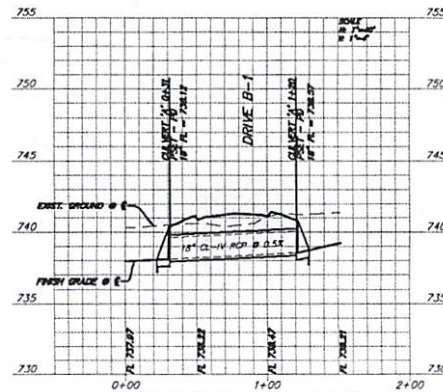
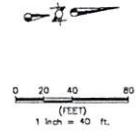
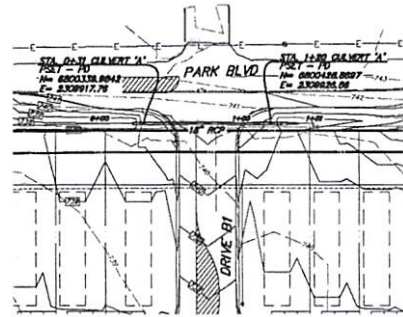


ALSO KNOWN AS:
CPI:
17-Ann-Reg-17 (RA) Surveying Class
17480514
22046118
73474
CPI:
80042829
22046118
74239

RLG CONSULTING ENGINEERS
1200 N. CENTRAL EXPRESSWAY #200 DALLAS, TX 75243
825 W. WILSON ROAD SUITE 1100 FORT WORTH, TX 76104
WWW.RLGINC.COM TSP# FIRM REG. F-403

PROPOSED DRAINAGE AREA
CLEBURNE RESIDENTIAL
1501 PARK BLVD
CLEBURNE, TX, 76033
JOHNSON COUNTY, TEXAS

REVIEW	DRAWN	DATE	FILE	NUMBER	SHEET
RLG	RLG	4/18/2024	2223	007	C05.02



CULVERT 'A'

LEGEND

- XXXXXXXXXXXXX EXISTING STORM SEWER
- PROPOSED STORM SEWER LINE
- EXISTING SANITARY SEWER LINE
- PROPOSED SANITARY SEWER LINE
- EXISTING WATER LINE
- PROPOSED WATER LINE

RLG CONSULTING ENGINEERS
 12001 N. CENTRAL EXPRESSWAY #300 DALLAS, TX 75243
 825 W. WILLOW ROAD #100 FORT WORTH, TX 76104
 WWW.RLGC.COM TDP# FIRM REG. P-403

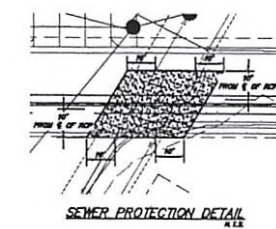
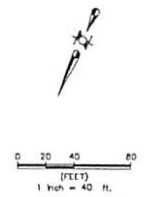
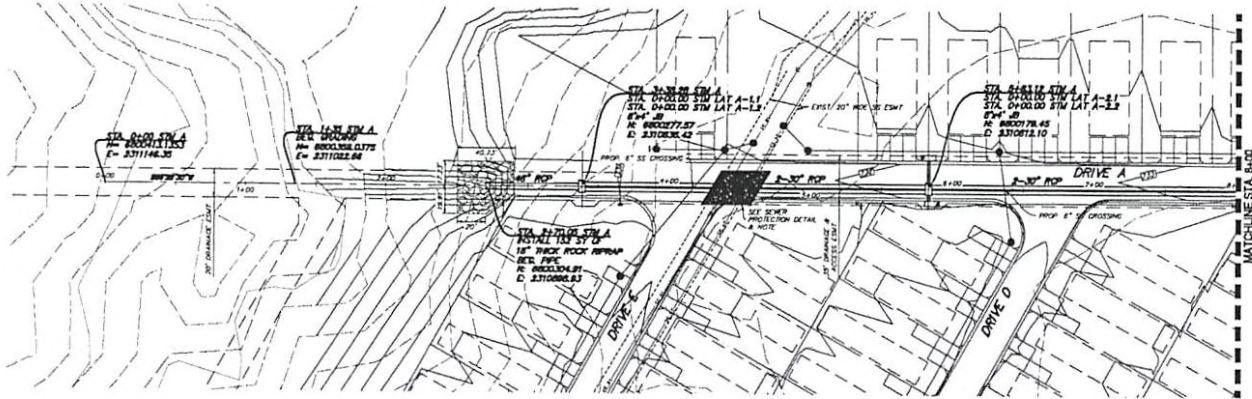
CULVERT 'A' PLAN & PROFILE
 CLEBURNE RESIDENTIAL
 1501 PARK BLVD
 CLEBURNE, TX, 76033
 JOHNSON COUNTY, TEXAS

REVIEW	DATE	FILE	NUMBER	SHEET
RLG	4/18/2024	2223	007	C05_04

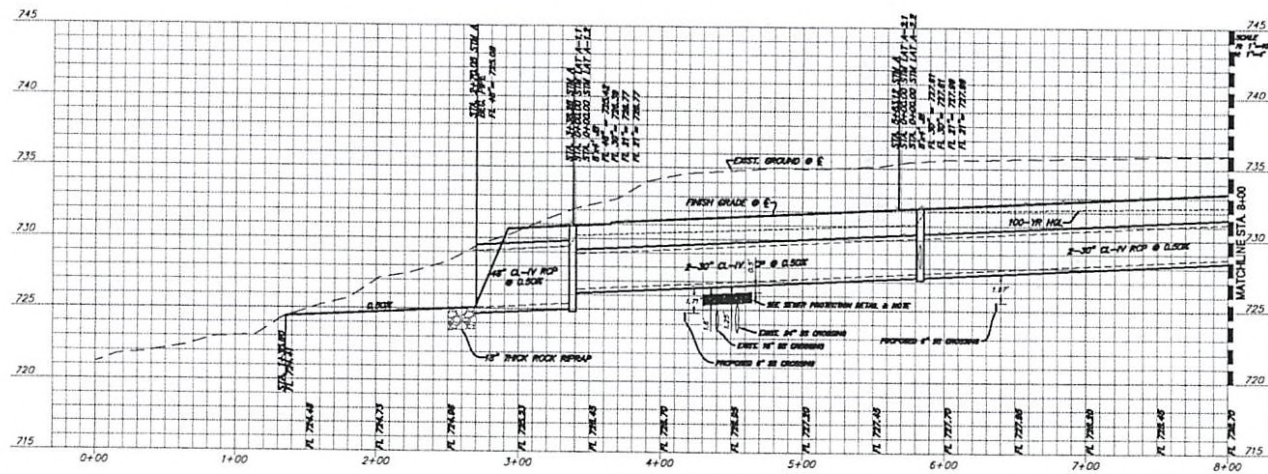


NOTES:
 1. Per Plot #1 Surveying Co.
 2. 8/18/2014
 3. 2/20/2015
 4. 7/8/19
 5. 1/11/20

B:\Projects\2024\2223\Cleburne Residential\1501 Park Blvd\Culvert 'A' Plan & Profile.dwg, 4/18/2024 10:00 AM, Jacob Hammond, P.E., 120948



SEWER PROTECTION NOTE
 INSTALL 18" BRICK CAP OF CONTROLLED LOW STRENGTH MATERIAL (FLOWABLE FILL) W/ 300 PSI STRENGTH MEASURED AT 28 DAYS.



STM LINE 'A'

LEGEND

- XXXXXXXXXXXX EXISTING STORM SEWER
- ===== PROPOSED STORM SEWER LINE
- EXISTING SANITARY SEWER LINE
- PROPOSED SANITARY SEWER LINE
- EXISTING WATER LINE
- PROPOSED WATER LINE



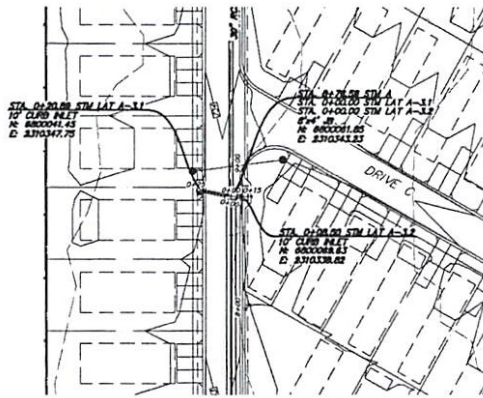
BLOCKMARK
 City:
 1" Plan Prod w/ RWI Surveying Co.
 P. 075005.14
 C. 130801.01
 Z. 130.74
 Date: 4/18/2024
 Job: 1501 Park Blvd
 H. 000000.00
 P. 030000.00
 S. 142.31

RLG CONSULTING ENGINEERS
 12001 M. CENTRAL EXPRESSWAY #200 DALLAS, TX 75243
 825 W. WILLOW ROAD SUITE #100 FORT WORTH, TX 76104
 WWW.RLGINC.COM TDDI FIRM REG. F-403

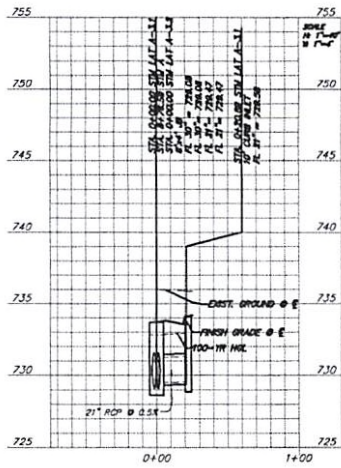
STORM LINE 'A' PLAN & PROFILE (SHEET 1 OF 2)

CLEBURNE RESIDENTIAL
 1501 PARK BLVD
 CLEBURNE, TX, 76033
 JOHNSON COUNTY, TEXAS

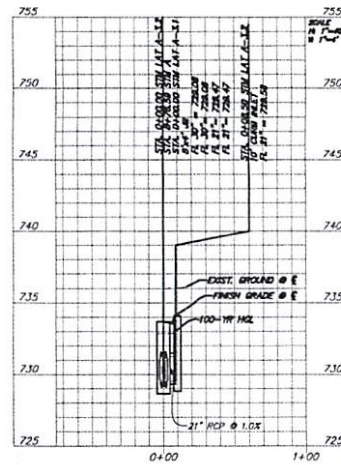
REVIEW	DRAWN	DATE	P&E	NUMBER	SHEET
RLG	RLG	4/18/2024	2223	007	C05.05



0 20 40 80
 (FEET)
 1 inch = 40 ft.



STM LAT A-3.1



STM LAT A-3.2

LEGEND

- XXXXXXXXXXXX EXISTING STORM SEWER
- ===== PROPOSED STORM SEWER LINE
- EXISTING SANITARY SEWER LINE
- PROPOSED SANITARY SEWER LINE
- EXISTING WATER LINE
- PROPOSED WATER LINE

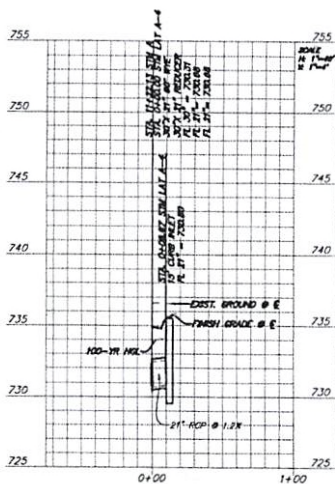
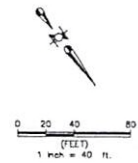
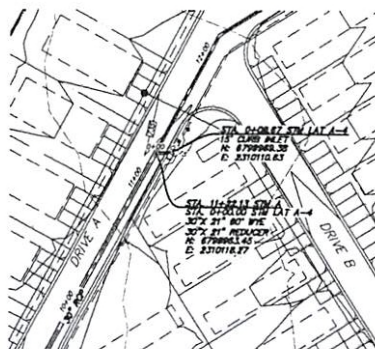
RLG CONSULTING ENGINEERS
 2001 W. CENTRAL EXPRESSWAY SUITE 8000 DALLAS, TX 75243
 805 W. VICKERY BOULEVARD #100 FORT WORTH, TX 76104
 WWW.RLGC.COM TSP# FIRM REG. P-463

STORM LATERALS 'A-3' PLAN & PROFILE
 CLEBURNE RESIDENTIAL
 1501 PARK BLVD
 CLEBURNE, TX, 76033
 JOHNSON COUNTY, TEXAS

REVIEW	DRAWN	DATE	FILE	NUMBER	SHEET
RLG	RLG	4/18/2024	2223	007	C05.08



DESIGNED BY:
 JAH
 5' Inch Pipe w/ 1/2" Surveying Dia
 N: 87806214
 E: 230948187
 S: 738.74
 CIP
 21" Dia in Proposed
 N: 87806214
 E: 230948187
 S: 742.21



STM LATA-4

LEGEND

XXXXXXXXXXXX	EXISTING STORM SEWER
===== ===== =====	PROPOSED STORM SEWER LINE
===== ===== =====	EXISTING SANITARY SEWER LINE
===== ===== =====	PROPOSED SANITARY SEWER LINE
-----	EXISTING WATER LINE
-----	PROPOSED WATER LINE

RLG CONSULTING ENGINEERS
 12001 N. CENTRAL EXPRESSWAY #300 DALLAS, TX 75243
 10210 W. WILLOW ROAD SUITE 1100 FORT WORTH, TX 76104
 WWW.RLGINC.COM TDD/FAX REG. #4603

STORM LATERAL 'A-4' PLAN & PROFILE
 CLEBURNE RESIDENTIAL
 1501 PARK BLVD
 CLEBURNE, TX, 76033
 JOHNSON COUNTY, TEXAS

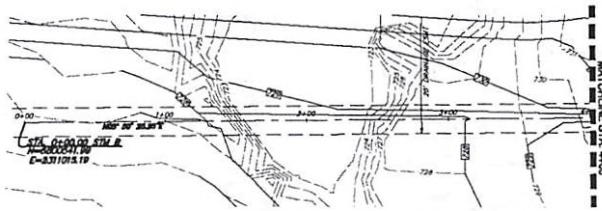
BENCHMARK

CP1:
 1. Iron Rod w/ 100 Surveying Cap
 N: 8794652.74
 E: 2328461.87
 Z: 736.74

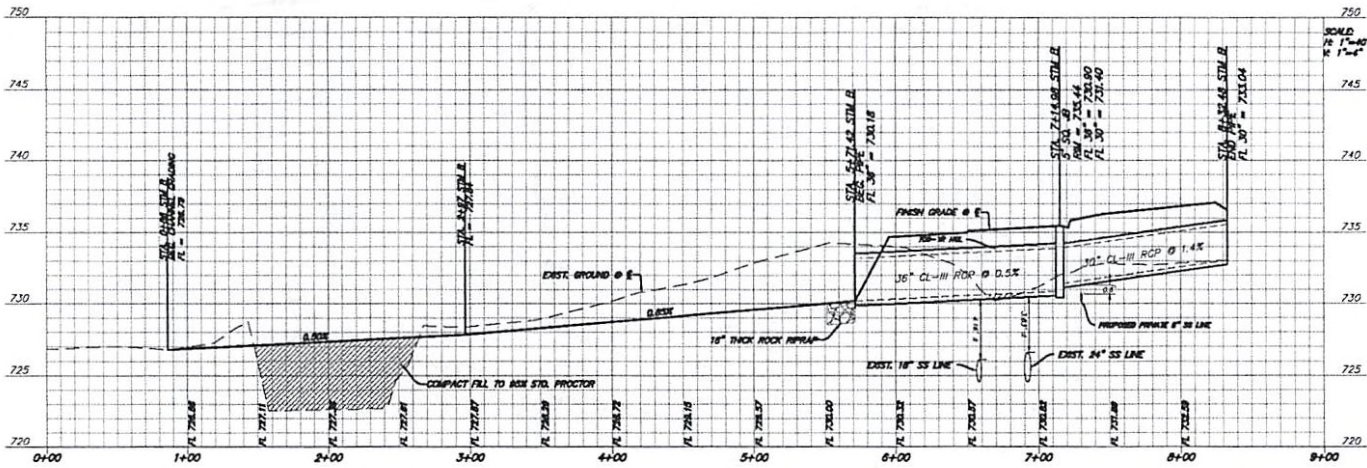
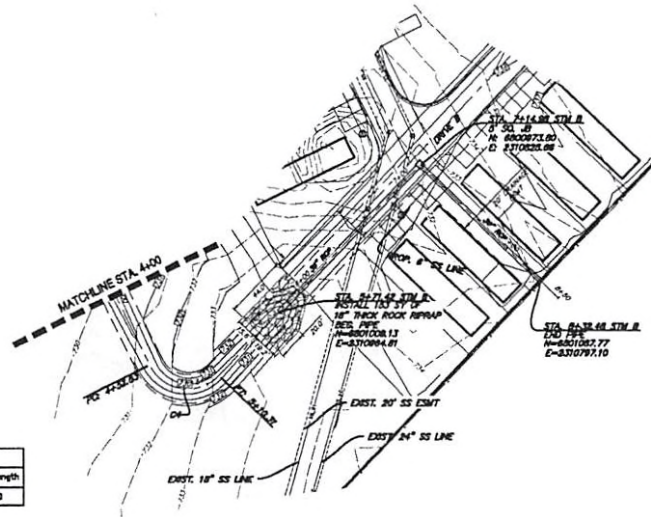
CP2:
 2. Cast in Place
 N: 8804652.88
 E: 2328462.87
 Z: 742.31

REVIEW	DRAWN	DATE	FILE	NUMBER	SHEET
RLG	RLG	4/18/2024	2223	007	C05.09

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Curve Table Alignment						
Curve #	Start Sta.	End Sta.	Radius	Delta	Length	Chord Direction
C4	4+52.83	5+10.31	30,000	110.13°	37.88	N44° 14' 10.33"W



- LEGEND**
- XXXXXXXXXXXXX EXISTING STORM SEWER
 - PROPOSED STORM SEWER LINE
 - EXISTING SANITARY SEWER LINE
 - PROPOSED SANITARY SEWER LINE
 - EXISTING WATER LINE
 - PROPOSED WATER LINE

RLG CONSULTING ENGINEERS
 12001 N. CENTRAL EXPRESSWAY #300 DALLAS, TX 75243
 825 W. WILKINSON BOULEVARD #110 FORT WORTH, TX 76104
 WWW.RLGINC.COM TDE FIRM REG. F-403

STORM LINE B PLAN & PROFILE
 CLEBURNE RESIDENTIAL
 1501 PARK BLVD
 CLEBURNE, TX, 76033
 JOHNSON COUNTY, TEXAS

REVIEW	DRAWN	DATE	FILE	NUMBER	SHEET
RLG	RLG	4/18/2024	2223	007	C05.10

REVISIONS

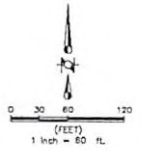
1. Per Red #1 Surveying Co
 2. 1/28/2024
 3. 1/28/2024
 4. 1/28/2024

SCALE
 1" = 40' Horizontal
 1" = 4' Vertical

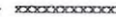



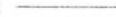

4/18/24

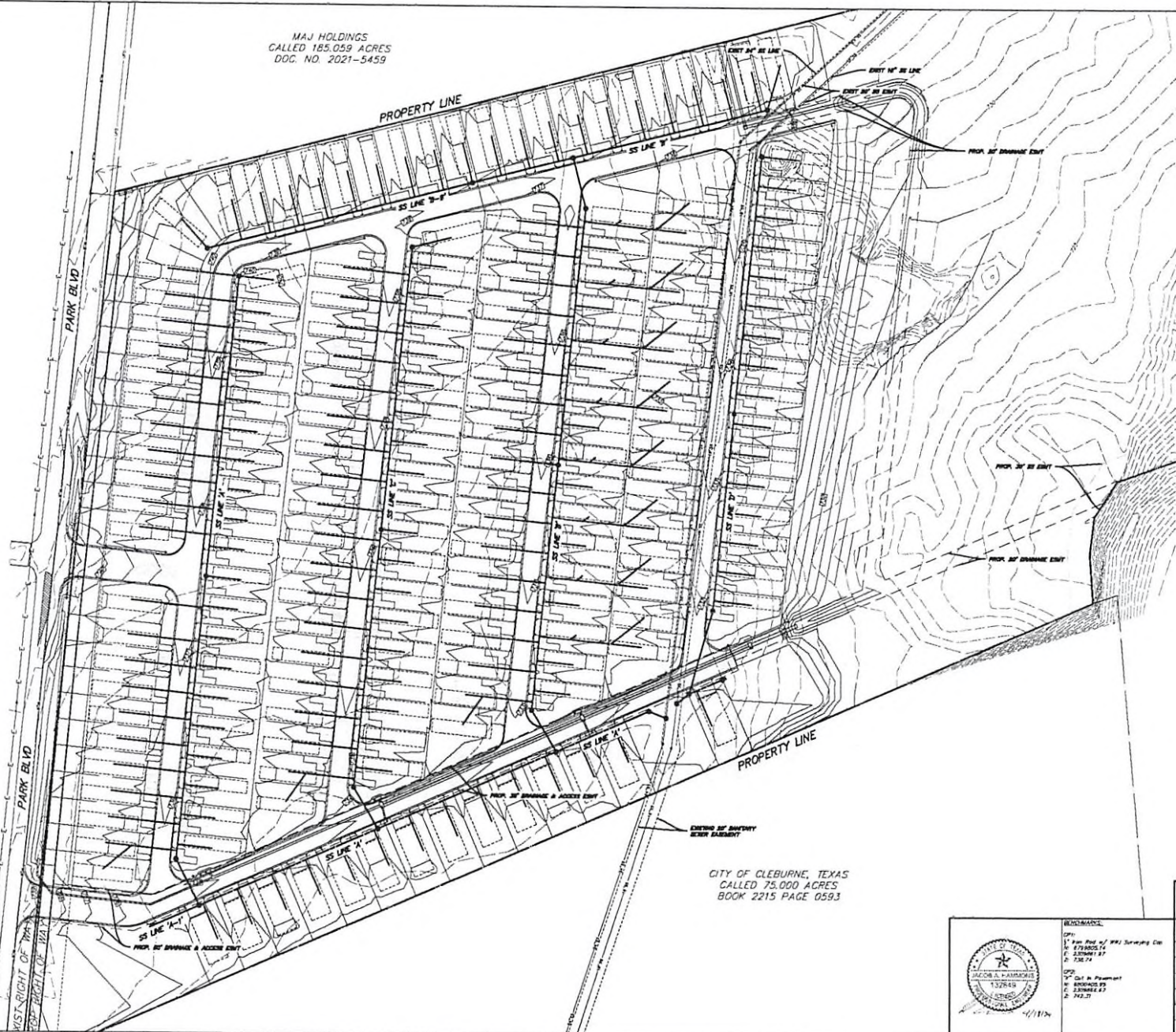


MAJ HOLDINGS
CALLED 185.059 ACRES
DOC. NO. 2021-5459

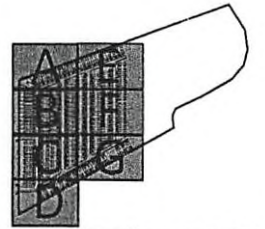


LEGEND

-  EXISTING STORM SEWER
-  PROPOSED STORM SEWER LINE
-  EXISTING SANITARY SEWER LINE
-  PROPOSED SANITARY SEWER LINE
-  EXISTING WATER LINE
-  PROPOSED WATER LINE



CITY OF CLEBURNE, TEXAS
CALLED 75,000 ACRES
BOOK 2215 PAGE 0593



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825 W. WILKING BOULEVARD #105 FORT WORTH, TX 76104
WWW.RLGINC.COM TSP# FIRM REG. F-463

OVERALL SEWER PLAN
CLEBURNE RESIDENTIAL
1501 PARK BLVD
CLEBURNE, TX, 76033
JOHNSON COUNTY, TEXAS

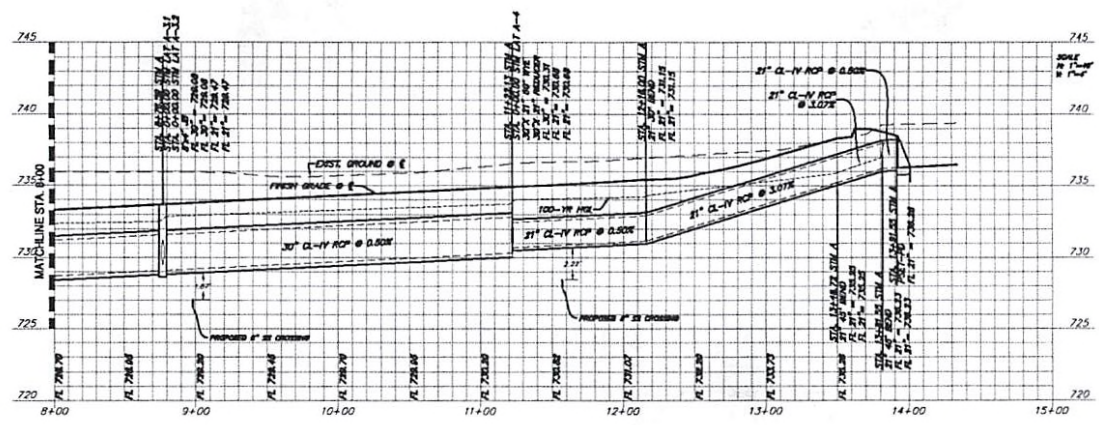
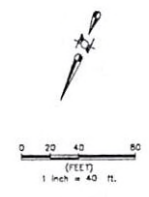
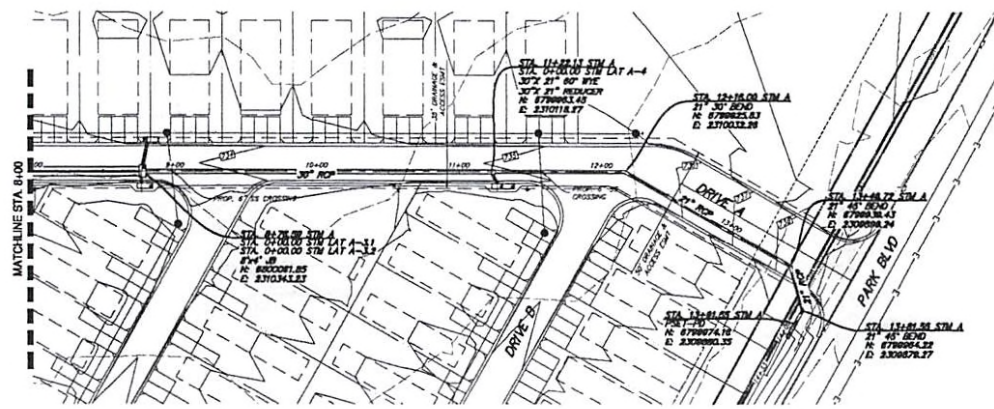
REVISIONS

1	Plan	Prep. by: WJZ	Surveys	Chk.
2	Plan	1/18/2024	2/28/2024	2/28/2024
3	Plan	Chk. by: P. H. H. / J. H. H.	2/28/2024	2/28/2024

APPROVED

JACOB A. HARMON
TOWNSHIP ENGINEER
JOHNSON COUNTY, TEXAS

REVIEW	DRAWN	DATE	P.L.R.	NUMBER	SHEET
RLG	RLG	4/18/2024	2223	007	C06.00



LEGEND

- XXXXXXXXXXXXXXXXX EXISTING STORM SEWER
- PROPOSED STORM SEWER
- EXISTING SANITARY SEWER LINE
- PROPOSED SANITARY SEWER LINE
- EXISTING WATER LINE
- PROPOSED WATER LINE

STM LINE 'A'

RLG CONSULTING ENGINEERS
 13001 W. CENTRAL EXPRESSWAY SUITE 2000 DALLAS, TX 75243
 1825 W. VICKERY BOULEVARD #105 FORT WORTH, TX 76104
 WWW.RLGINC.COM TSPRE FIRM REG. P. 463

RECORDS

City: 5' Iron Rod w/ #42 Surveying Cap
 W. STANLEY
 E. 232881.87
 S. 738.74

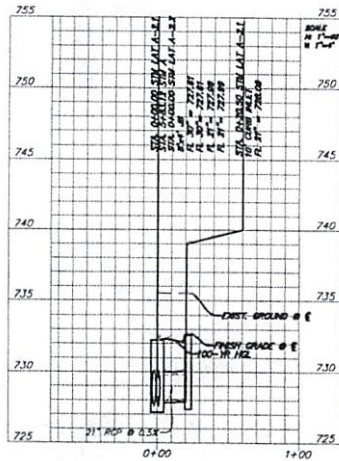
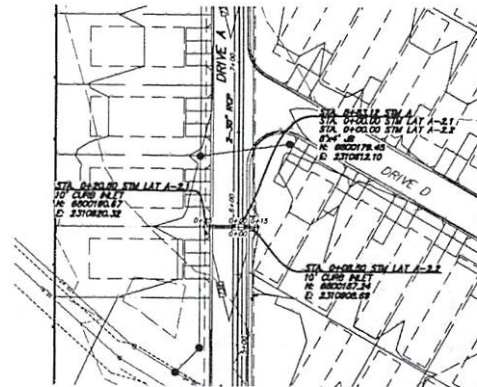
CDP: 7" x 7" in Plan
 W. STANLEY
 E. 232881.87
 S. 738.74

4/11/24

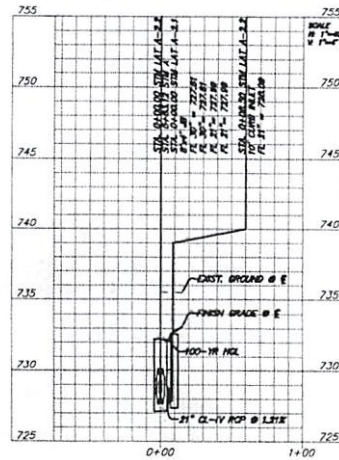
STORM LINE 'A' PLAN & PROFILE (SHEET 2 OF 2)

CLEBURNE RESIDENTIAL
 1501 PARK BLVD
 CLEBURNE, TX, 76033
 JOHNSON COUNTY, TEXAS

REVIEW	DRAWN	DATE	FILE	NUMBER	SHEET
RLG	RLG	4/18/2024	2223	007	C05.06



STM LAT A-2.1



STM LAT A-2.2

LEGEND

- XXXXXXXXXXXX EXISTING STORM SEWER
- ===== PROPOSED STORM SEWER LINE
- EXISTING SANITARY SEWER LINE
- PROPOSED SANITARY SEWER LINE
- EXISTING WATER LINE
- PROPOSED WATER LINE

RLG CONSULTING ENGINEERS
 12001 N. CENTRAL EXPRESSWAY #300 DALLAS, TX 75243
 828 W. VICKERY BOULEVARD #150 FORT WORTH, TX 76104
 WWW.RLGINC.COM TDFE FIRM REG. F-403

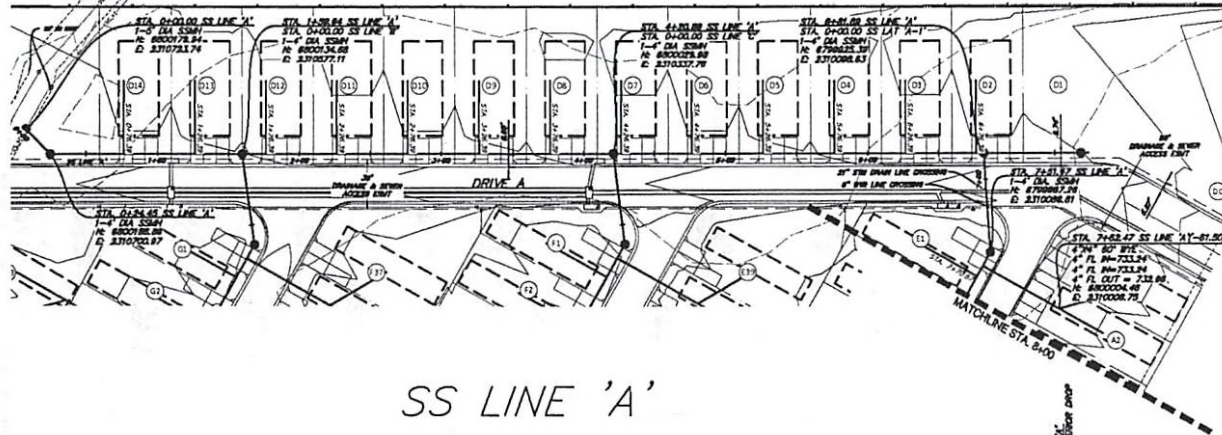
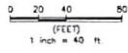
STORM LATERALS 'A-2' PLAN & PROFILE
 CLEBURNE RESIDENTIAL
 1501 PARK BLVD
 CLEBURNE, TX, 76033
 JOHNSON COUNTY, TEXAS

REVIEW	DRAWN	DATE	P.L.B.	NUMBER	SHEET
RLG	RLG	4/18/2024	2223	007	C05.07

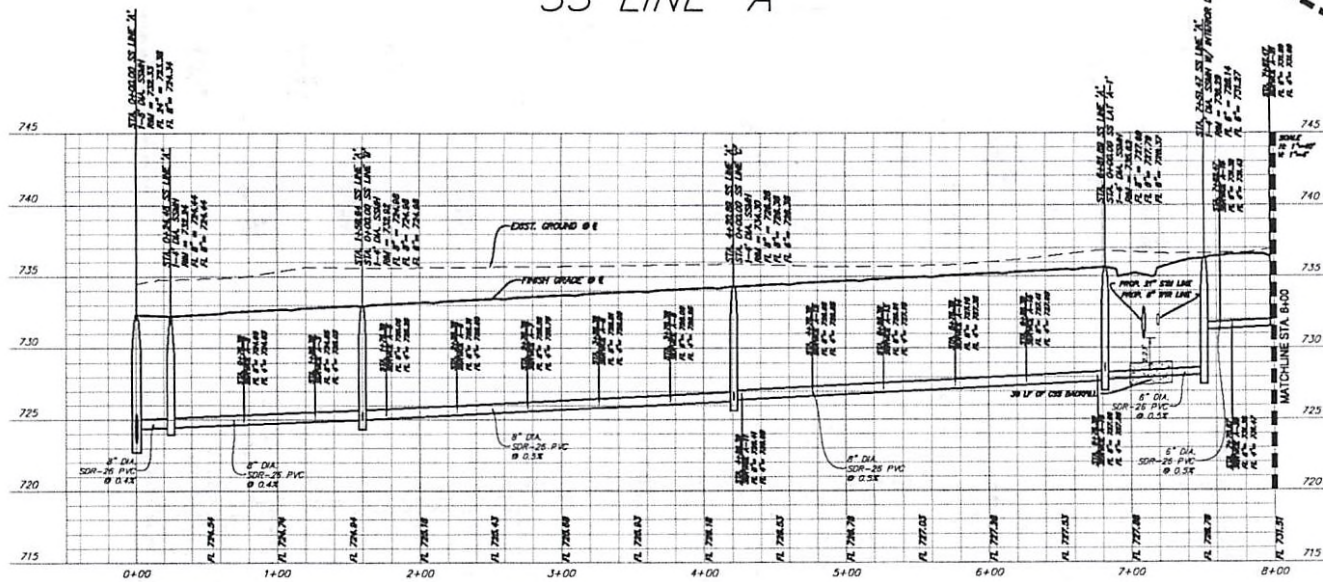


RECORDS:
 ONE
 1" Plan and Profile Surveying Co.
 N. #79400514
 C. 23098187
 Z. 736.74
 ONE
 2" Civil & Professional
 N. #20040089
 C. 23098187
 Z. 742.31

R:\Projects\2024\1501 Park Blvd\1501 Park Blvd - Storm Lateral A-2\1501 Park Blvd - Storm Lateral A-2.dwg, 4/18/2024, 2:15:00 PM, Jacob Ammons



SS LINE 'A'



- LEGEND**
- XXXXXXXXXXXXXXXXXXXX EXISTING STORM SEWER
 - ===== PROPOSED STORM SEWER LINE
 - EXISTING SANITARY SEWER LINE
 - PROPOSED SANITARY SEWER LINE
 - EXISTING WATER LINE
 - PROPOSED WATER LINE

RLG CONSULTING ENGINEERS					
12001 N. CENTRAL EXPRESSWAY #100 DALLAS, TX 75243					
105 W. WICKERY BOULEVARD #105 FORT WORTH, TX 76104					
WWW.RLGC.COM TDD# 817.342.7400					
SEWER LINE "A" PLAN AND PROFILE					
(SHEET 1 OF 2)					
CLEBURNE RESIDENTIAL					
1501 PARK BLVD					
CLEBURNE, TX, 76033					
JOHNSON COUNTY, TEXAS					
REVIEW	DRAWN	DATE	P.L.B.	NUMBER	SHEET
RLG	RLG	4/18/2024	2223	007	C06.01

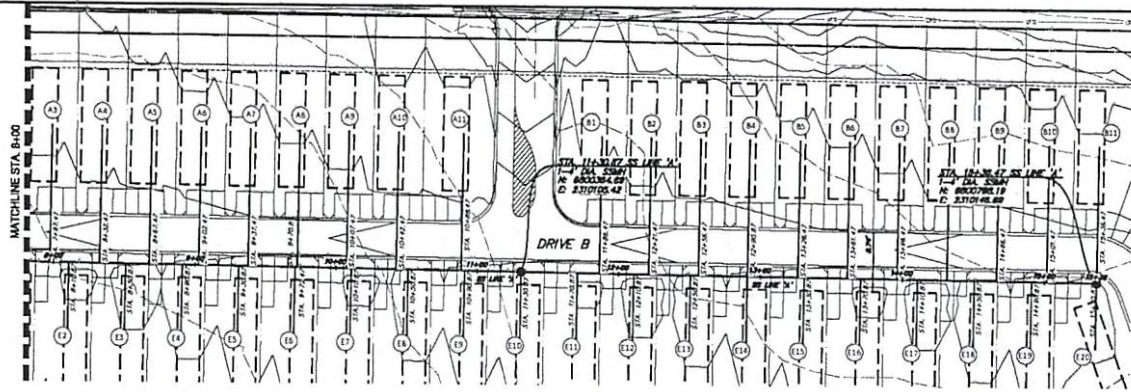
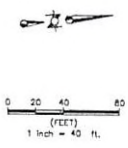


REVISIONS

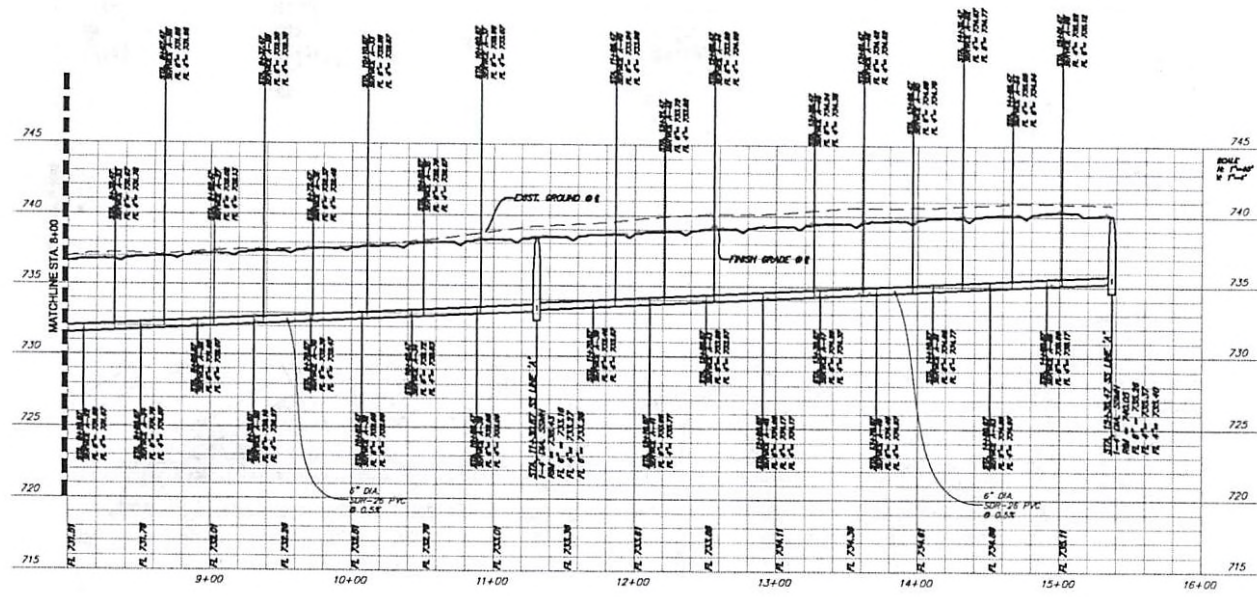
1. From Plan of HWJ Surveying Co.
 2. 12/28/19
 3. 12/28/19

2. By
 3. 12/28/19
 4. 12/28/19

4/11/24



SS LINE 'A'



LEGEND

- XXXXXXXXXXXX EXISTING STORM SEWER
- PROPOSED STORM SEWER LINE
- EXISTING SANITARY SEWER LINE
- PROPOSED SANITARY SEWER LINE
- EXISTING WATER LINE
- PROPOSED WATER LINE

RLG CONSULTING ENGINEERS
 12001 W. CENTRAL EXPRESSWAY #300 DALLAS, TX 75243
 855 W. YORKWAY ENGINEERS BY ID. FORT WORTH, TX 76104
 WWW.RLGINC.COM TDP# FIRM REG. F-403

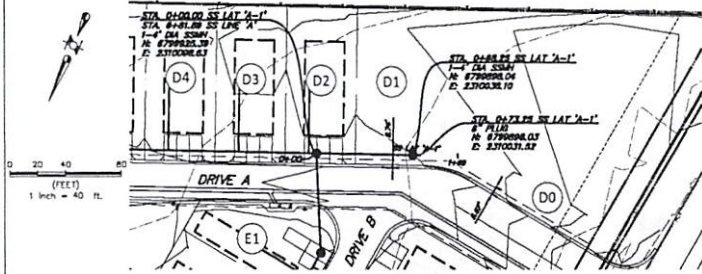
SEWER LINE 'A' PLAN AND PROFILE
 (SHEET 2 OF 2)
 CLEBURNE RESIDENTIAL
 1501 PARK BLVD
 CLEBURNE, TX, 76033
 JOHNSON COUNTY, TEXAS

REVIEW	DRAWN	DATE	FILE	NUMBER	SHEET
RLG	RLG	4/18/2024	2223	007	C05.02

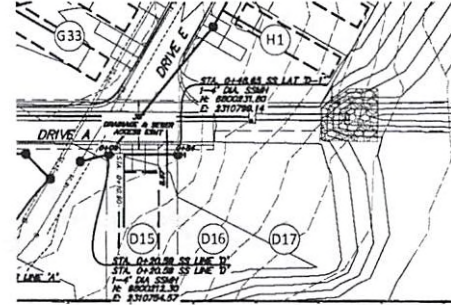
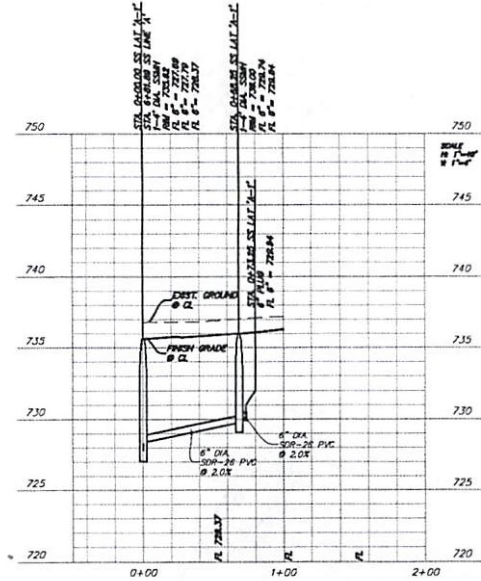


RECOMMEND:
 CIVIL
 J. Paul Pridemore, P.E., Surveying Co.
 W. 9788823
 P. 22088187
 N. 138-74
 CIVIL
 Carl A. Primmant
 W. 8006403
 P. 22081687
 N. 742-21
 4/11/24

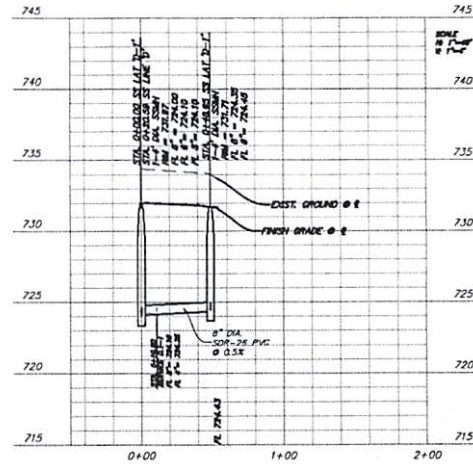
R:\2024\1501 Park Blvd Residential\1501 Park Blvd Residential.dwg, 4/11/24, 11:58 AM, JAH



SS LAT 'A-1'



SS LAT 'D-1'



LEGEND

XXXXXXXXXXXX	EXISTING STORM SEWER
=====	PROPOSED STORM SEWER LINE
-----	EXISTING SANITARY SEWER LINE
-----	PROPOSED SANITARY SEWER LINE
-----	EXISTING WATER LINE
-----	PROPOSED WATER LINE

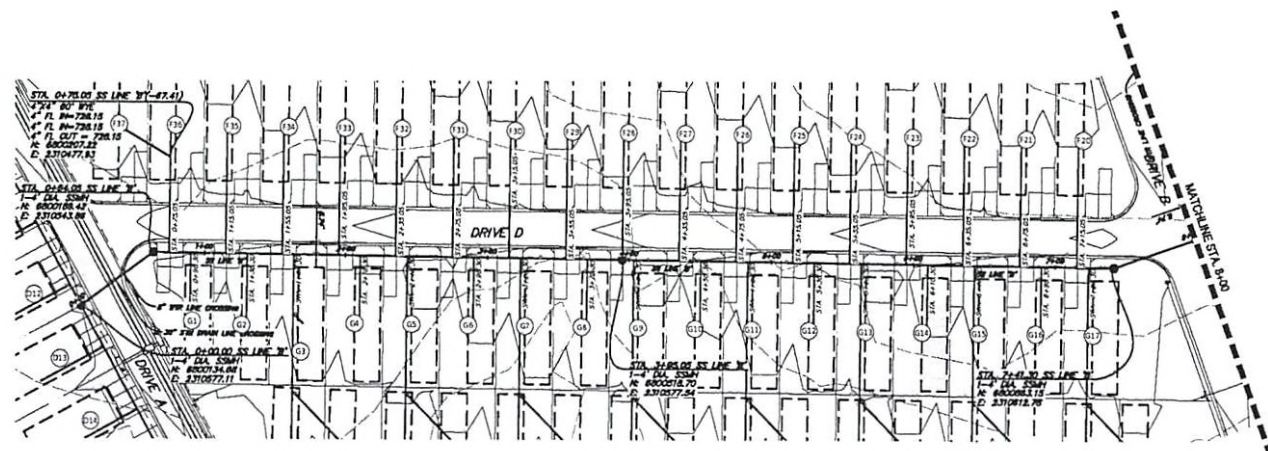
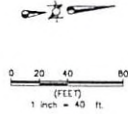
RLG CONSULTING ENGINEERS
 12001 N. CENTRAL EXPRESSWAY #300 DALLAS, TX 75243
 825 W. WICKERY BOULEVARD #100 FORT WORTH, TX 76104
 WWW.RLG-ENG.COM TEXAS REG. # 402

SEWER LAT 'A-1 & D-1' PLAN & PROFILE
 CLEBURNE RESIDENTIAL
 1501 PARK BLVD
 CLEBURNE, TX, 76033
 JOHNSON COUNTY, TEXAS

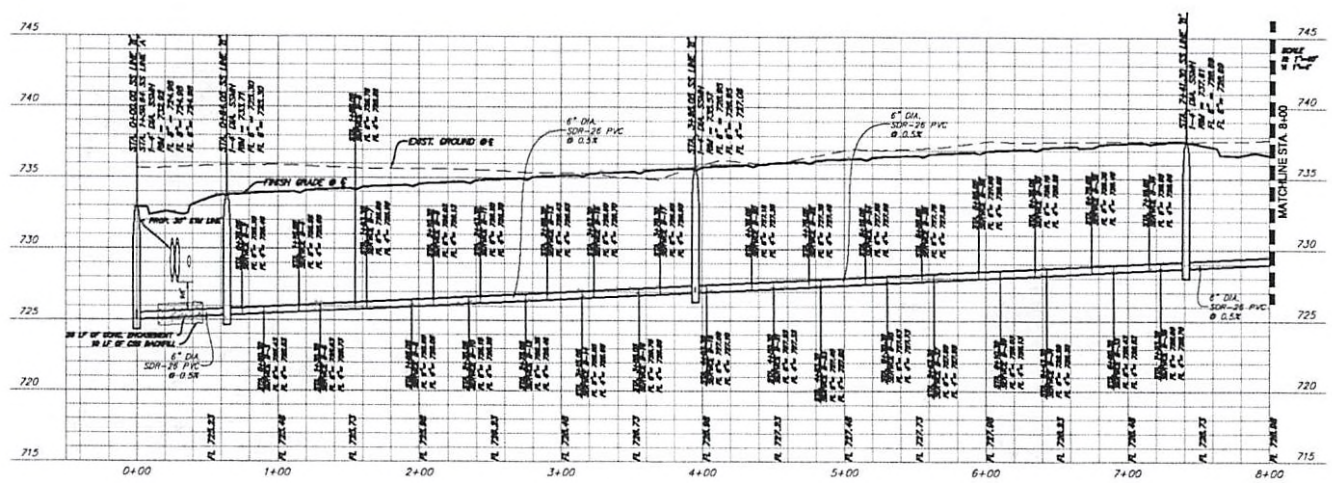


BENCHMARK
 CIP:
 1. 1" DIA. IN. W/ 1/2" SURVEYING CIP
 N. 879405.14
 E. 570960.87
 Z. 738.74
 CIP:
 1" DIA. IN. POINTMENT
 N. 890405.29
 E. 570960.87
 Z. 742.32

REVIEW	DRAWN	DATE	P.L.O.	NUMBER	SHEET
RLG	RLG	4/18/2024	2223	007	C06.03



SS LINE 'B'



LEGEND

	EXISTING STORM SEWER
	PROPOSED STORM SEWER LINE
	EXISTING SANITARY SEWER LINE
	PROPOSED SANITARY SEWER LINE
	EXISTING WATER LINE
	PROPOSED WATER LINE

RLG CONSULTING ENGINEERS
 12001 N. CENTRAL EXPRESSWAY #200 DALLAS, TX 75243
 825 W. WICKERY ROAD SUITE 8110, FORT WORTH, TX 76104
 WWW.RLGCONS.COM TYPIC FROM RECS. P. 403

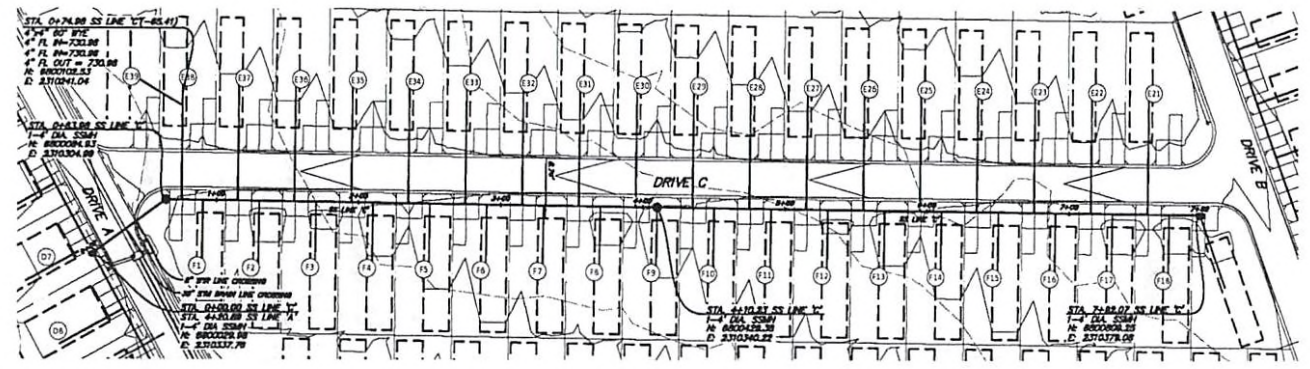
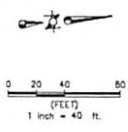
SEWER LINE 'B' PLAN & PROFILE
 (SHEET 1 OF 2)
CLEBURNE RESIDENTIAL
 1501 PARK BLVD
 CLEBURNE, TX, 76033
 JOHNSON COUNTY, TEXAS



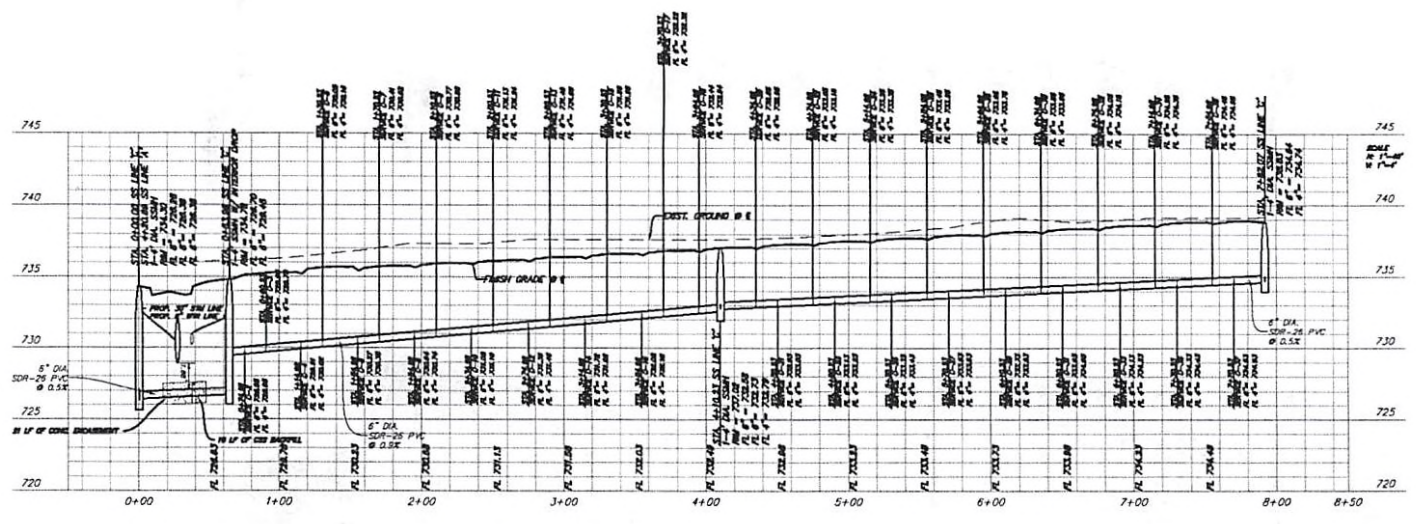
REVISIONS

NO.	DATE	DESCRIPTION
1	4/11/24	ISSUE FOR PERMIT

REVIEW	DRAWN	DATE	P.A.E.	NUMBER	SHEET
RLG	RLG	4/18/2024	2223	007	C06.04



SS LINE 'C'



LEGEND

- XXXXXXXXXXXXX EXISTING STORM SEWER
- PROPOSED STORM SEWER LINE
- EXISTING SANITARY SEWER LINE
- PROPOSED SANITARY SEWER LINE
- EXISTING WATER LINE
- PROPOSED WATER LINE

RLG CONSULTING ENGINEERS
 12001 N. CENTRAL EXPRESSWAY #1000 DALLAS, TX 75243
 825 W. WILKING BOULEVARD #101 FORT WORTH, TX 76104
 WWW.RLGCONS.COM T906 F906 REC.F-002

SEWER LINE 'C' PLAN & PROFILE
 CLEBURNE RESIDENTIAL
 1501 PARK BLVD
 CLEBURNE, TX, 76033
 JOHNSON COUNTY, TEXAS

REVIEW	DRAWN	DATE	FILE	NUMBER	SHEET
RLG	RLG	4/18/2024	2223	007	C06.07

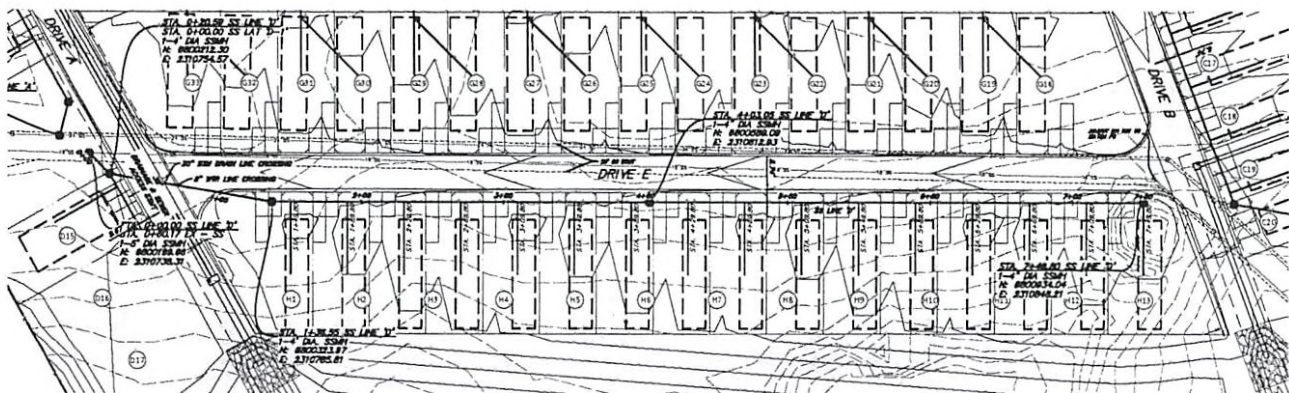
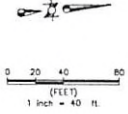
PROJ. MARKS

DPI:
 1515 Ave. Road of 1983 Surveying Co.
 6. 478800574
 2. 2381877
 2. 238174

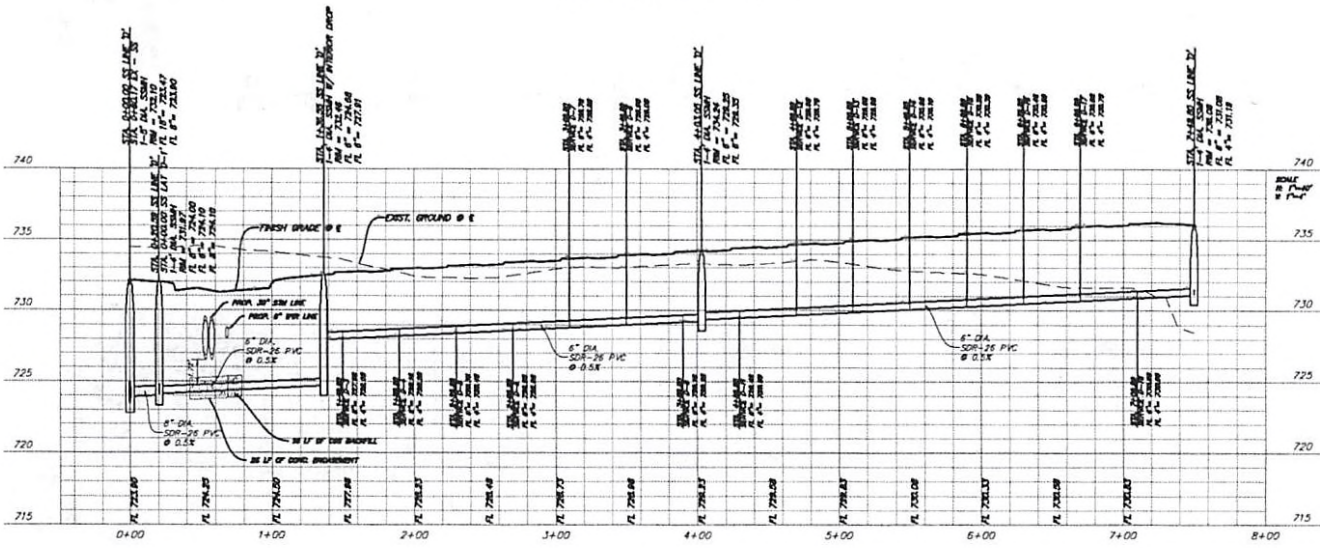
DATE:
 1515 Ave. Road of 1983 Surveying Co.
 6. 478800574
 2. 2381877
 2. 238174

4/18/24





SS LINE 'D'



LEGEND

- XXXXXXXXXXXX EXISTING STORM SEWER
- PROPOSED STORM SEWER LINE
- ⊕ EXISTING SANITARY SEWER LINE
- PROPOSED SANITARY SEWER LINE
- EXISTING WATER LINE
- PROPOSED WATER LINE

RLG CONSULTING ENGINEERS
 12001 N. CENTRAL EXPRESSWAY #300 DALLAS, TX 75243
 825 W. WICKIPEY BOULEVARD #100 FORT WORTH, TX 76104
 WWW.RLG-ENG.COM TOLL FREE 800.875.4623

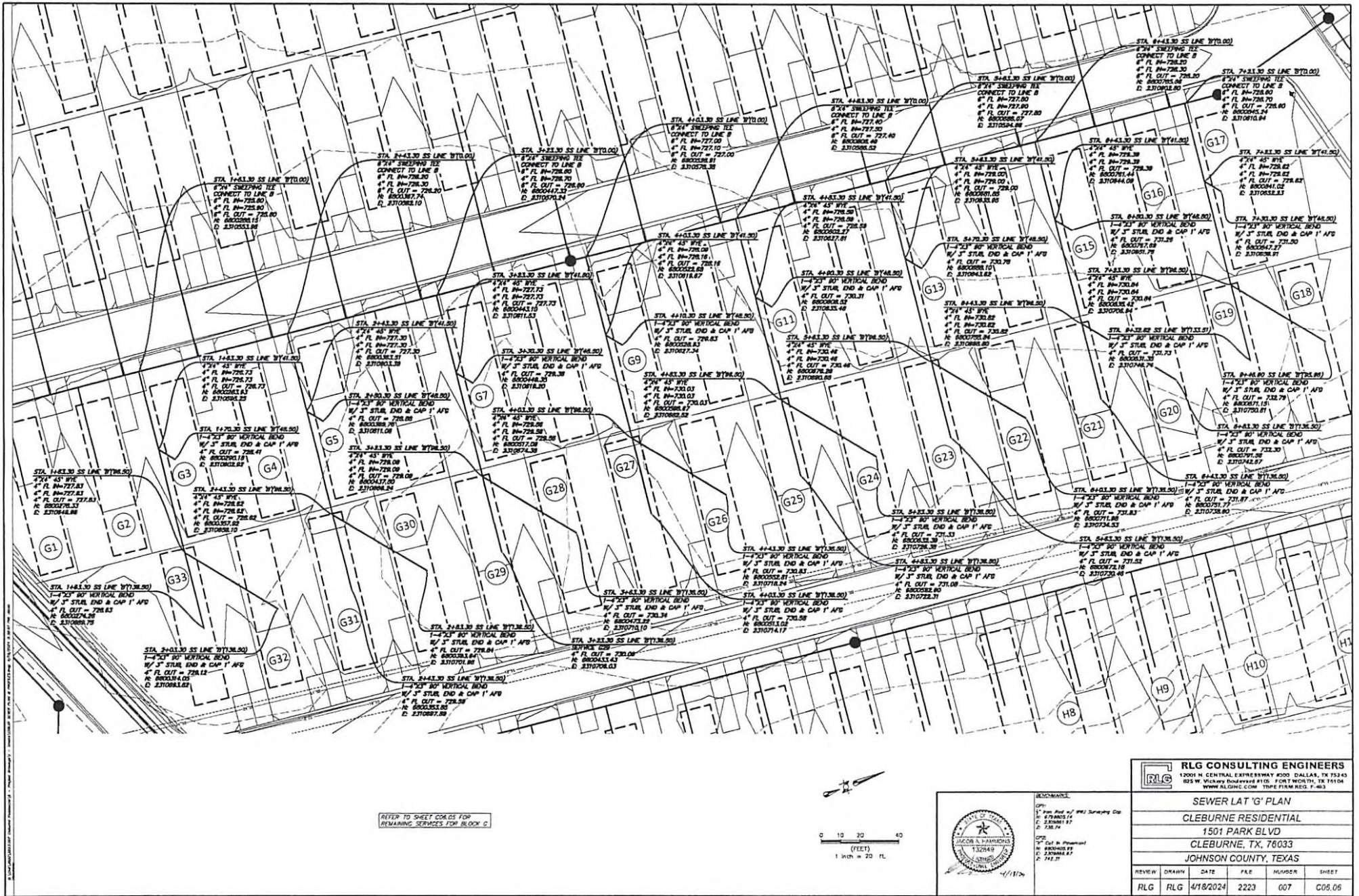
SEWER LINE 'D' PLAN & PROFILE
CLEBURNE RESIDENTIAL
 1501 PARK BLVD
 CLEBURNE, TX, 76033
 JOHNSON COUNTY, TEXAS

REVIEW	DRAWN	DATE	P.L.S.	NUMBER	SHEET
RLG	RLG	4/18/2024	2223	007	C05.08

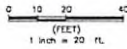
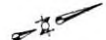


RECORDS:
 1" Plan and 1/4" Profile Surveying Scale
 P. 879645214
 C. 4/28/2024
 T. 7:38:24
 1/4" Plot in Planimeter
 N. 800045225
 E. 4/28/2024
 T. 7:42:31

24:30:00/2024/04/18/10:00 AM - Project: Cleburne Residential - Sewer Line 'D' Plan & Profile - 1501 Park Blvd - Johnson County, Texas - 132649 - 1/4" Plot in Planimeter - 7:42:31

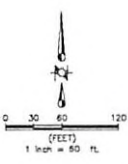
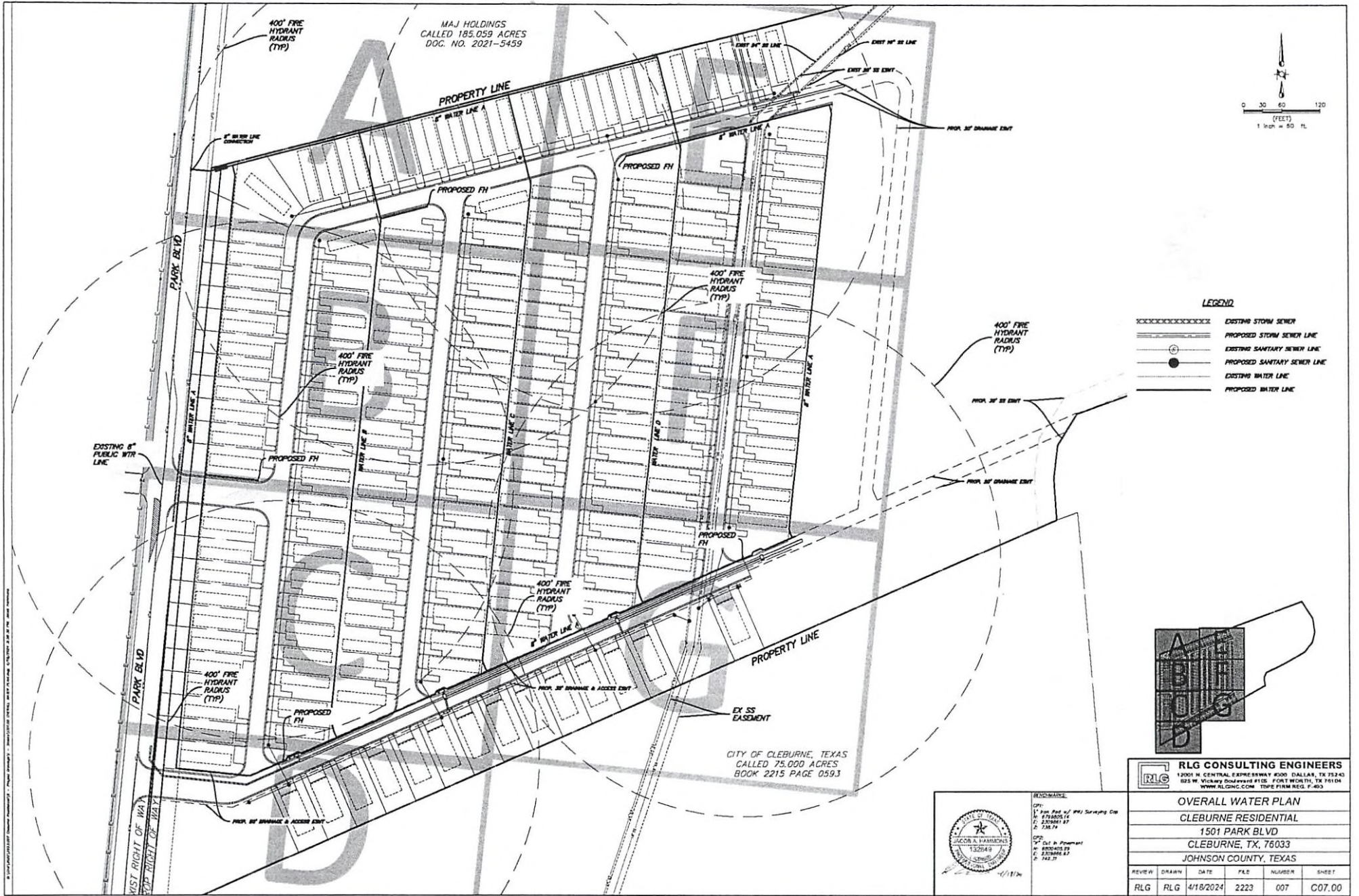


REFER TO SHEET COORDS FOR
REMAINING SERVICES FOR BLOCK C



RECORDS:
 CIP: 1" from End of 18" Sewerage Pipe
 N. 87000114
 N. 87000117
 D. 728.74
 CIP: 1" Out of Protection
 N. 87000119
 N. 87000122
 D. 728.77

RLG CONSULTING ENGINEERS 12001 N. CENTRAL EXPRESSWAY #200 DALLAS, TX 75243 802 W. WICKLY BOULEVARD #105 FORT WORTH, TX 76104 WWW.RLG-ENG.COM TIME FROM REC. F-403					
SEWER LAT 'G' PLAN CLEBURNE RESIDENTIAL 1501 PARK BLVD CLEBURNE, TX, 76033 JOHNSON COUNTY, TEXAS					
REVIEW	DRAWN	DATE	P&E	NUMBER	SHEET
RLG	RLG	4/18/2024	2223	007	C08.06



LEGEND

- EXISTING STORM SEWER
- PROPOSED STORM SEWER LINE
- EXISTING SANITARY SEWER LINE
- PROPOSED SANITARY SEWER LINE
- EXISTING WATER LINE
- PROPOSED WATER LINE



RLG CONSULTING ENGINEERS
 12001 N. CENTRAL EXPRESSWAY #100 DALLAS, TX 75243
 825 W. VICKERY BOULEVARD #105 FORT WORTH, TX 76104
 WWW.RLGCON.COM TDFE FIRM REG. F-463

OVERALL WATER PLAN
 CLEBURNE RESIDENTIAL
 1501 PARK BLVD
 CLEBURNE, TX, 76033
 JOHNSON COUNTY, TEXAS

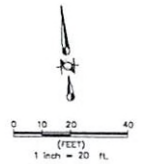
REVIEW	DRAWN	DATE	FILE	NUMBER	SHEET
RLG	RLG	4/18/2024	2223	007	C07.00



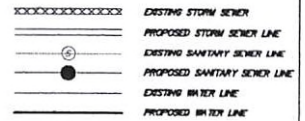
MODIFICATIONS:
 CIP: 1. From Part of RLG Surveying Co
 W. STANISLA
 P. 2/20/21 87
 D. 1/8/19
 CIP: 2. City of Cleburne
 W. BRADSHAW
 P. 2/20/21 87
 D. 7/2/21

W:\1501PARK\1501PARK.dwg (Project) - 1501PARK.dwg (Project) - 1501PARK.dwg (Project) - 1501PARK.dwg (Project) - 1501PARK.dwg (Project)

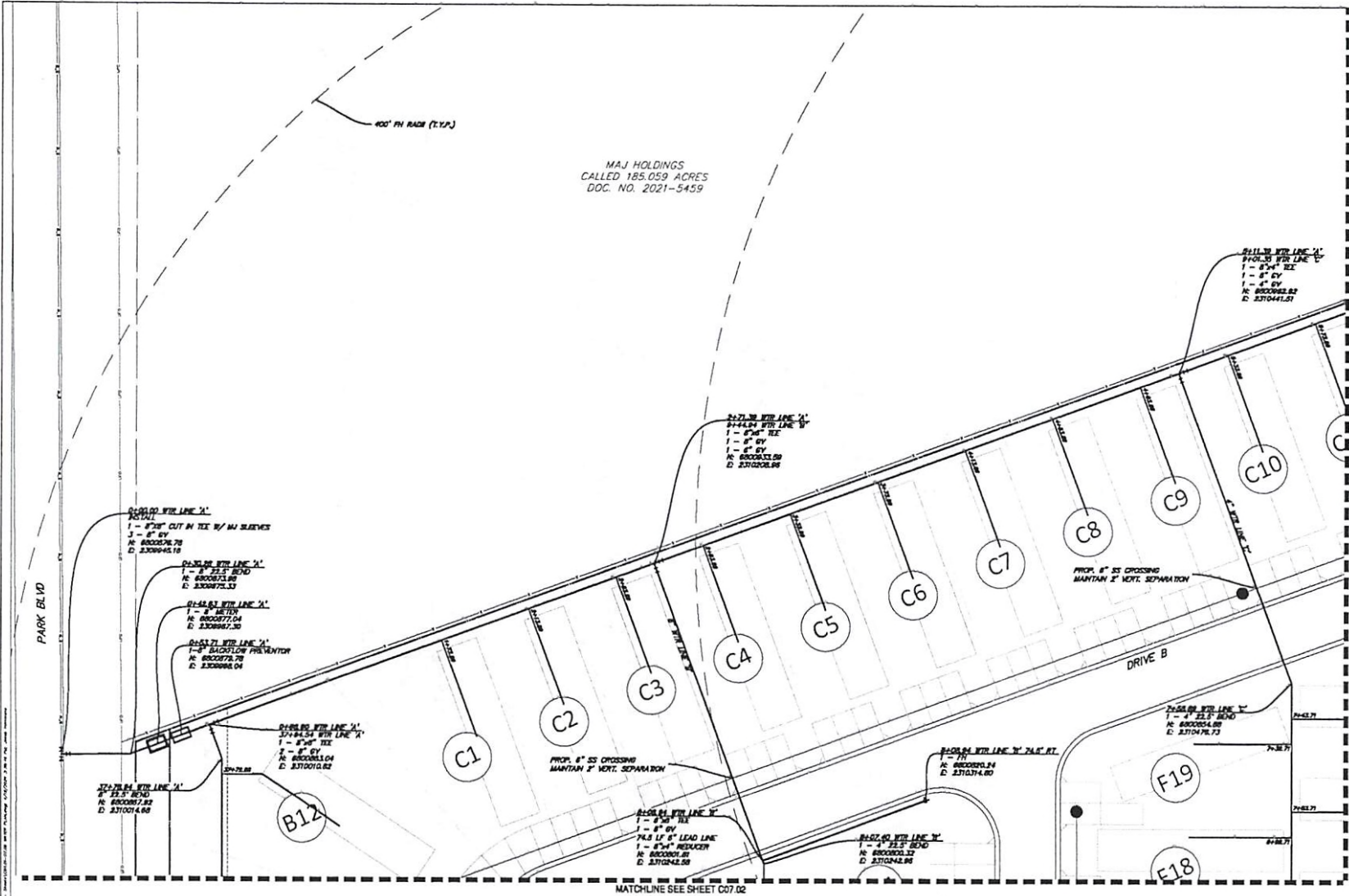
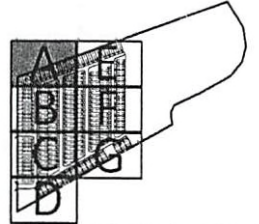
MAJ HOLDINGS
CALLED 185.059 ACRES
DOC. NO. 2021-5459



LEGEND



NOTES
1. CONSULT WITH EVERY DEPARTMENT OF THE CITY OF CLEBURNE



RLG CONSULTING ENGINEERS 12001 N. CENTRAL EXPRESSWAY #200 DALLAS, TX 75243 825 W. WILKINSON BOULEVARD #100 FORT WORTH, TX 76104 WWW.RLGCONS.COM T858 7848 FAX 403					
REVISION	DRAWN	DATE	P.L.S.	NUMBER	SHEET
RLG	RLG	4/18/2024	2223	007	C07.01



RECORDS
 CPE
 15' from Road w/ 1/4" Scale Surveying Cap
 N. 8794803.74
 E. 5305001.57
 Z. 738.74
 CPE
 1/4" Cont. in Payment
 N. 8806405.75
 E. 4309662.67
 Z. 742.31

2024/04/18/10:50 AM [unreadable] 100% [unreadable] 1501 PARK BLVD, CLEBURNE, TEXAS, JOHNSON COUNTY, TEXAS
 ALL RIGHTS RESERVED. NO PART OF THIS DRAWING IS TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF RLG CONSULTING ENGINEERS.

MATCHLINE SEE SHEET C07.03

PARK BLVD

B11
B10
B9
B8
B7
B6
B5
B4
B3
B2
B1

DRIVE B

100' FH RADIUS (T.Y.P.)

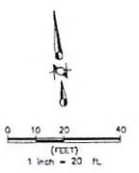
E20
E19
E18
E17
E16
E15
E14
E13
E12
E21
E22
E23
E24
E25
E26
E27
E28
E29
E30

DRIVE C

F17
F16
F15
F14
F13
F12
F11
F10
F9
F8

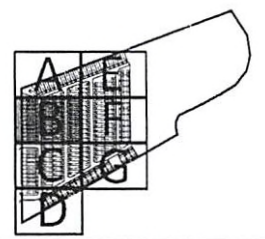
MATCHLINE SEE SHEET C07.08

MATCHLINE SEE SHEET C07.03



LEGEND

- EXISTING STORM SEWER
- PROPOSED STORM SEWER LINE
- EXISTING SANITARY SEWER LINE
- PROPOSED SANITARY SEWER LINE
- EXISTING WATER LINE
- PROPOSED WATER LINE



RLG CONSULTING ENGINEERS
 12001 N. CENTRAL EXPRESSWAY #200 DALLAS, TX 75243
 525 W. WICKERY FOUNDRY #110 FORT WORTH, TX 76104
 WWW.RLG-ENG.COM STONE PEARL SEC. F-403

WATER PLAN - SECTION B
 CLEBURNE RESIDENTIAL
 1501 PARK BLVD
 CLEBURNE, TX, 76033
 JOHNSON COUNTY, TEXAS

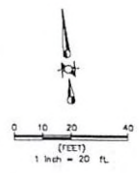
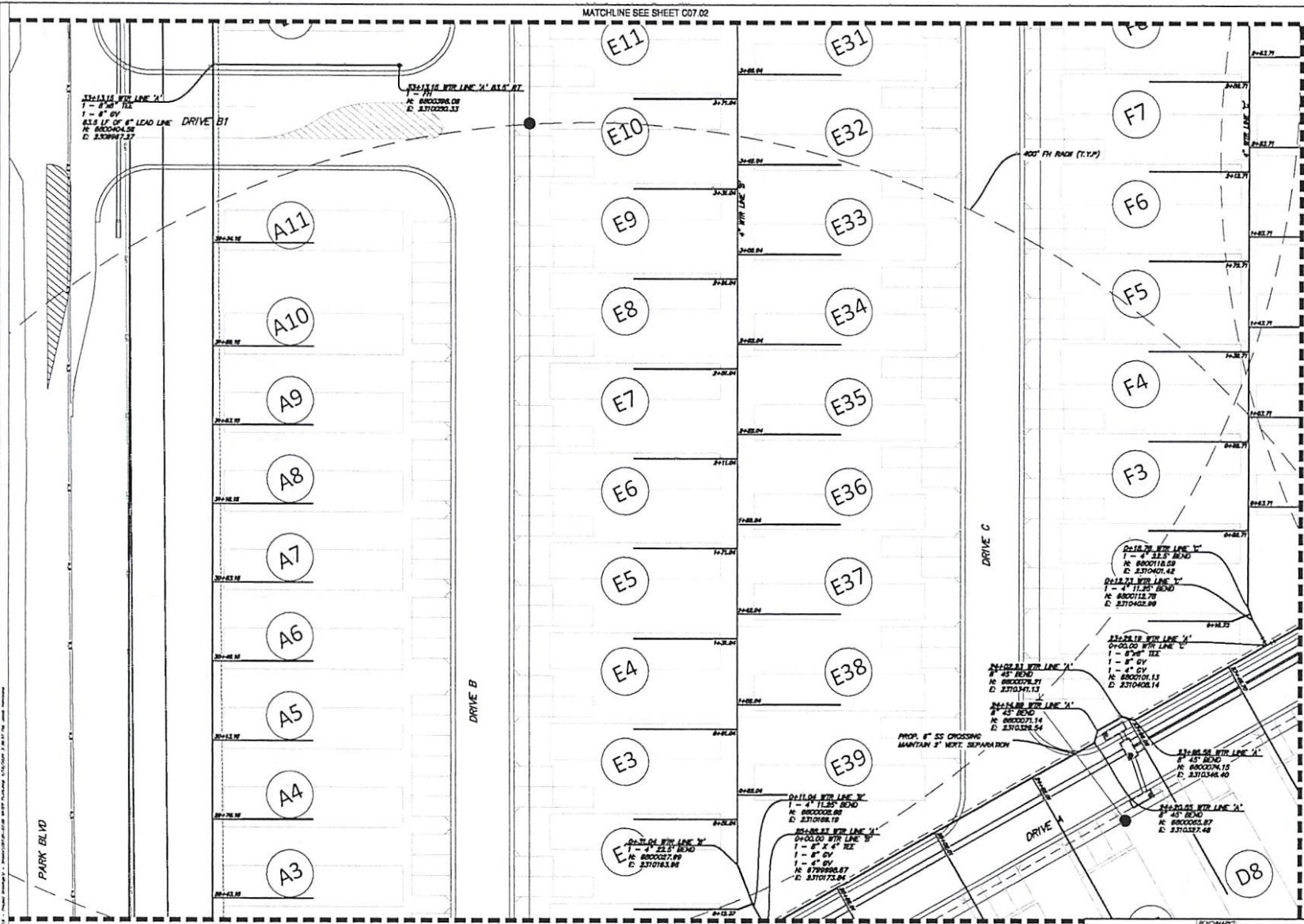


DESIGNED BY:
 JACOB A. JOHNSON
 132849
 STATE OF TEXAS
 4/11/24

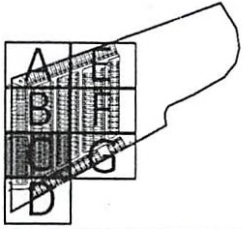
REVIEW	DRAWN	DATE	FILE	NUMBER	SHEET
RLG	RLG	4/18/2024	2223	007	C07.02

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MATCHLINE SEE SHEET C07.02



- LEGEND**
- EXISTING STORM SEWER
 - PROPOSED STORM SEWER LINE
 - EXISTING SANITARY SEWER LINE
 - PROPOSED SANITARY SEWER LINE
 - EXISTING WATER LINE
 - PROPOSED WATER LINE



RLG CONSULTING ENGINEERS
 12001 N. CENTRAL EXPRESSWAY #300 DALLAS, TX 75243
 825 W. WILKINSON BOULEVARD #105 FORT WORTH, TX 76104
 WWW.RLG-CONS.COM TORRE PEREZ REG. P. 463

WATER PLAN - SECTION C
 CLEBURNE RESIDENTIAL
 1501 PARK BLVD
 CLEBURNE, TX, 76033
 JOHNSON COUNTY, TEXAS

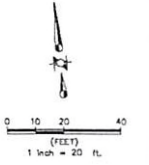
REVIEW	DRAWN	DATE	FILE	NUMBER	SHEET
RLG	RLG	4/18/2024	2223	007	C07.03



RECOMMENDATIONS
 G.P.I.
 1. Use Best of Method Surveying Co.
 N. 276205.74
 E. 276461.57
 Z. 736.74
 D.P.
 1. 10' CIV. IN PLACEMENT
 N. 879045.99
 E. 276461.57
 Z. 742.37

MATCHLINE SEE SHEET C07.04

MATCHLINE SEE SHEET C07.03



EXIST RIGHT OF WAY
PROP RIGHT OF WAY

D1

E1

D6

D7

D5

D4

D2

D3

A2

A1

DRIVE

PROPOSED 8" SS CROSSING
MAINTAIN 2' NEXT SEPARATION

22'-00.00' WITH LINE 'A'
1 - 8" 11.25' BOND
N: 8799838.30
E: 2310038.11

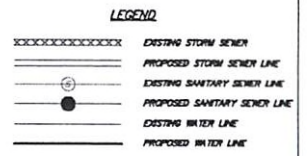
28'-00.00' WITH LINE 'A'
1 - 8" 11.25' BOND
N: 8799842.32
E: 2310038.73

28'-00.00' WITH LINE 'A'
1 - 8" 11.25' BOND
N: 8799841.41
E: 2310038.27

28'-00.00' WITH LINE 'A'
1 - 8" 11.25' BOND
N: 8799842.32
E: 2310038.73

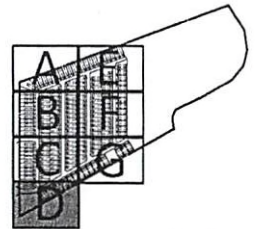
28'-00.00' WITH LINE 'A'
1 - 8" 11.25' BOND
N: 8799844.07
E: 2310038.73

22'-00.00' WITH LINE 'A'
1 - 8" 11.25' BOND
N: 8799837.70
E: 2309828.80



CITY OF CLEBURNE, TEXAS
CALLED 75.000 ACRES
BOOK 2215 PAGE 0593

400' FH ROAD (T.Y.P.)



RLG CONSULTING ENGINEERS
13001 W. CENTRAL EXPRESSWAY 4000 DALLAS, TX 75243
825 W. VICKERY BLVD SUITE #110 FORT WORTH, TX 76104
WWW.RLGINC.COM TDFE FIRM REG. F-403

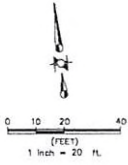


RECORDS
DPI:
1. Scott N. Williams, P.E., Surveying Co.
N: 8799838.30
E: 2310038.73
C: 152949
DPI:
1. Scott N. Williams, P.E., Surveying Co.
N: 8799844.07
E: 2310038.73
C: 152949

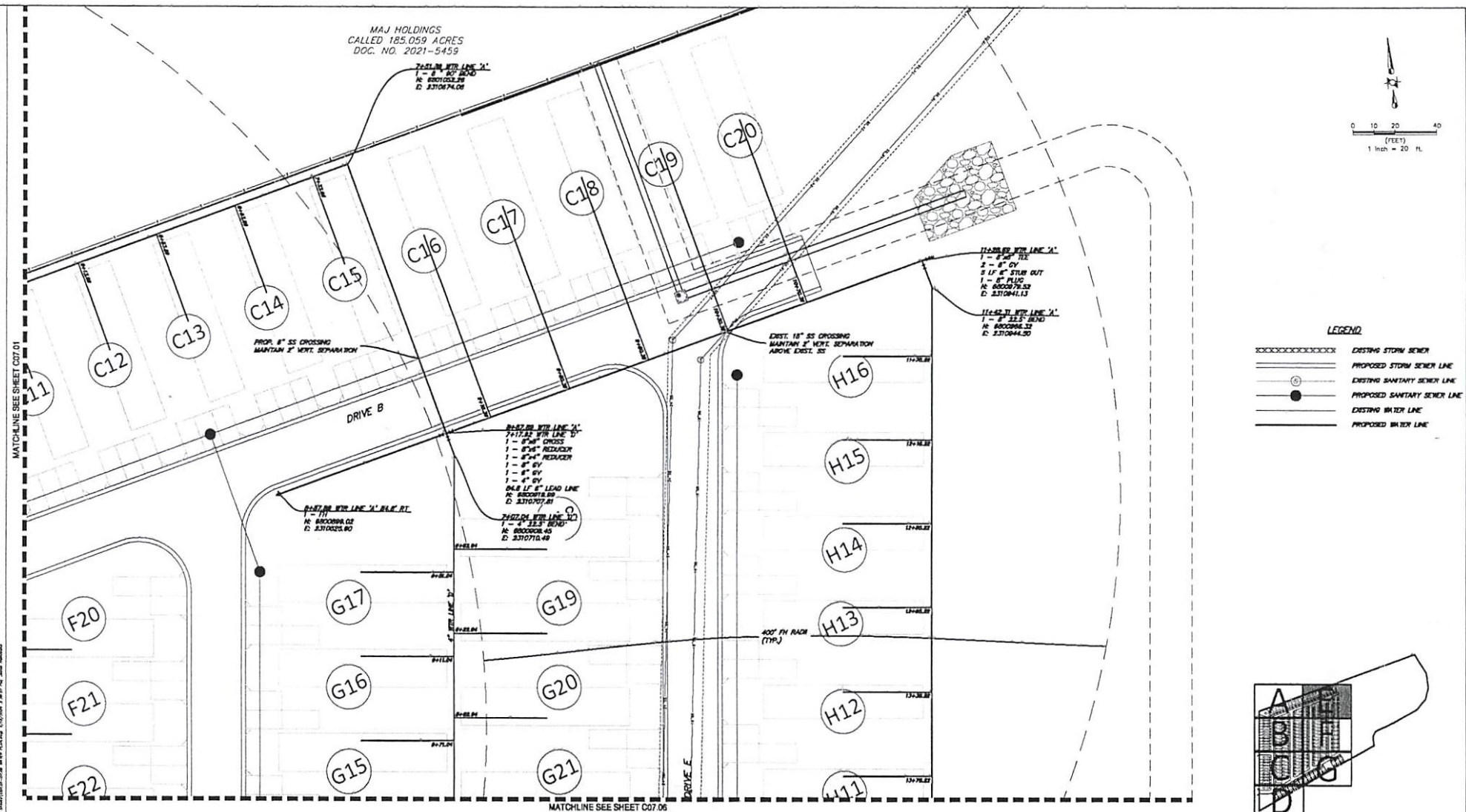
WATER PLAN - SECTION D
CLEBURNE RESIDENTIAL
1501 PARK BLVD
CLEBURNE, TX, 76033
JOHNSON COUNTY, TEXAS

REVIEW	DRAWN	DATE	FILE	NUMBER	SHEET
RLG	RLG	4/18/2024	2223	007	C07.04

MAJ HOLDINGS
CALLED 185.059 ACRES
DOC. NO. 2021-5459



MATCHLINE SEE SHEET C07.01



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LEGEND

-----x-----	EXISTING STORM SEWER
-----	PROPOSED STORM SEWER LINE
-----○-----	EXISTING SANITARY SEWER LINE
-----●-----	PROPOSED SANITARY SEWER LINE
-----	EXISTING WATER LINE
-----	PROPOSED WATER LINE

8" x 8" WTR LINE 'A'
74.12.02 WTR LINE 'D'
1 - 8" CHG CROSS
1 - 8" x 8" REDUCER
1 - 8" x 8" REDUCER
1 - 8" x 6"
1 - 8" x 6"
04.8 LF 8" LEAD LINE
N: 8000918.00
E: 2370707.00

11.64.00 WTR LINE 'A'
1 - 8" CHG
3 LF 8" STUB OUT
1 - 8" PLUG
N: 8000918.00
E: 2370841.13

PROP. 8" SS CROSSING
MAINTAIN 2" VERT. SEPARATION

EXIST. 18" SS CROSSING
MAINTAIN 2" VERT. SEPARATION
ARCH. EXIST. SS

0.87.00 WTR LINE 'A' B/LK RT.
1 - 7"
N: 8000908.02
E: 2370625.00

74.12.02 WTR LINE 'D'
1 - 8" 31.5' BEND
N: 8000908.45
E: 2370710.48

400' PH RADIUS
(TYP.)

MATCHLINE SEE SHEET C07.06



RLG CONSULTING ENGINEERS
12001 N. CENTRAL EXPRESSWAY #300 DALLAS, TX 75243
525 W. WILKINSON BOULEVARD #110 FORT WORTH, TX 76104
WWW.RLGCONS.COM TDFE FIRM REG. F-403



REVISIONS

NO.	DATE	DESCRIPTION
01	4/18/24	1" Ann Plan of RLG Surveying Co
02	4/18/24	N: 8000918.00
03	4/18/24	E: 2370841.13
04	4/18/24	Z: 738.79
05	4/18/24	7" CHG N. Placement
06	4/18/24	N: 8000918.00
07	4/18/24	E: 2370841.13
08	4/18/24	Z: 742.25

WATER PLAN - SECTION E
CLEBURNE RESIDENTIAL
1501 PARK BLVD
CLEBURNE, TX, 76033
JOHNSON COUNTY, TEXAS

REVIEW	DRAWN	DATE	FILE	NUMBER	SHEET
RLG	RLG	4/18/2024	2223	007	C07.05

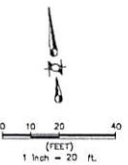
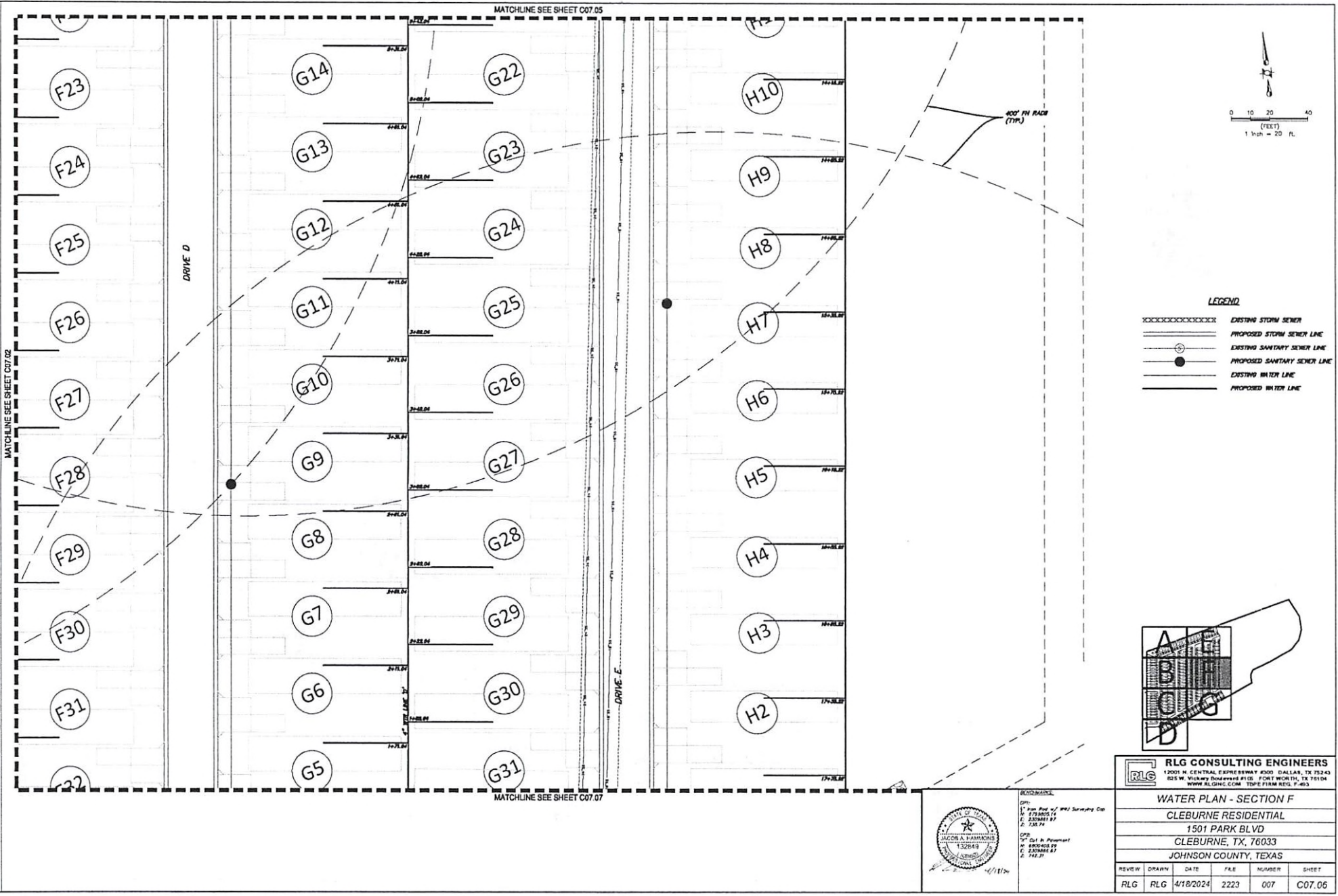
MATCHLINE SEE SHEET C07.05

MATCHLINE SEE SHEET C07.02

MATCHLINE SEE SHEET C07.07

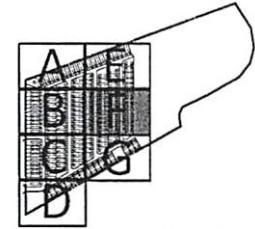
DRIVE D

DRIVE E



LEGEND

- XXXXXXXXXXXXXXXXXXXX EXISTING STORM SEWER
- ===== PROPOSED STORM SEWER LINE
- EXISTING SANITARY SEWER LINE
- PROPOSED SANITARY SEWER LINE
- EXISTING WATER LINE
- PROPOSED WATER LINE



RLG CONSULTING ENGINEERS
 12001 M. CENTRAL EXPRESSWAY #200 DALLAS, TX 75243
 825 W. VICKERY BOULEVARD #102 FORT WORTH, TX 76104
 WWW.RLGINC.COM TSP# PLAN REG. F-493

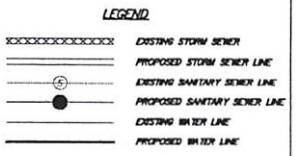
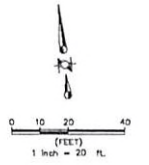
WATER PLAN - SECTION F
 CLEBURNE RESIDENTIAL
 1501 PARK BLVD
 CLEBURNE, TX, 76033
 JOHNSON COUNTY, TEXAS

REVIEW	DRAWN	DATE	PAGE	NUMBER	SHEET
RLG	RLG	4/18/2024	2223	007	C07.06

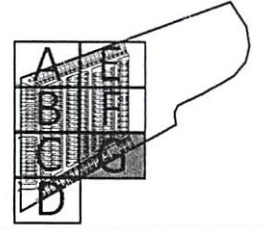


NOTES:
 1. See Plan of Survey
 2. 2/28/2014
 3. 2/28/2017
 4. 12/17/20

MATCHLINE SEE SHEET C07.06



CITY OF CLEBURNE, TEXAS
CALLED 75.000 ACRES
BOOK 2215 PAGE 059.3



RLG CONSULTING ENGINEERS
12001 N. CENTRAL EXPRESSWAY #100 DALLAS, TX 75243
625 W. WICKERY BOULEVARD #100 FORT WORTH, TX 76104
WWW.RLGCONS.COM TEL: 817.341.1111 FAX: 817.341.1112

WATER PLAN - SECTION G
CLEBURNE RESIDENTIAL
1501 PARK BLVD
CLEBURNE, TX, 76033
JOHNSON COUNTY, TEXAS

REVIEW	DRAWN	DATE	P.A.E.	NUMBER	SHEET
RLG	RLG	4/18/2024	2223	007	C07.07

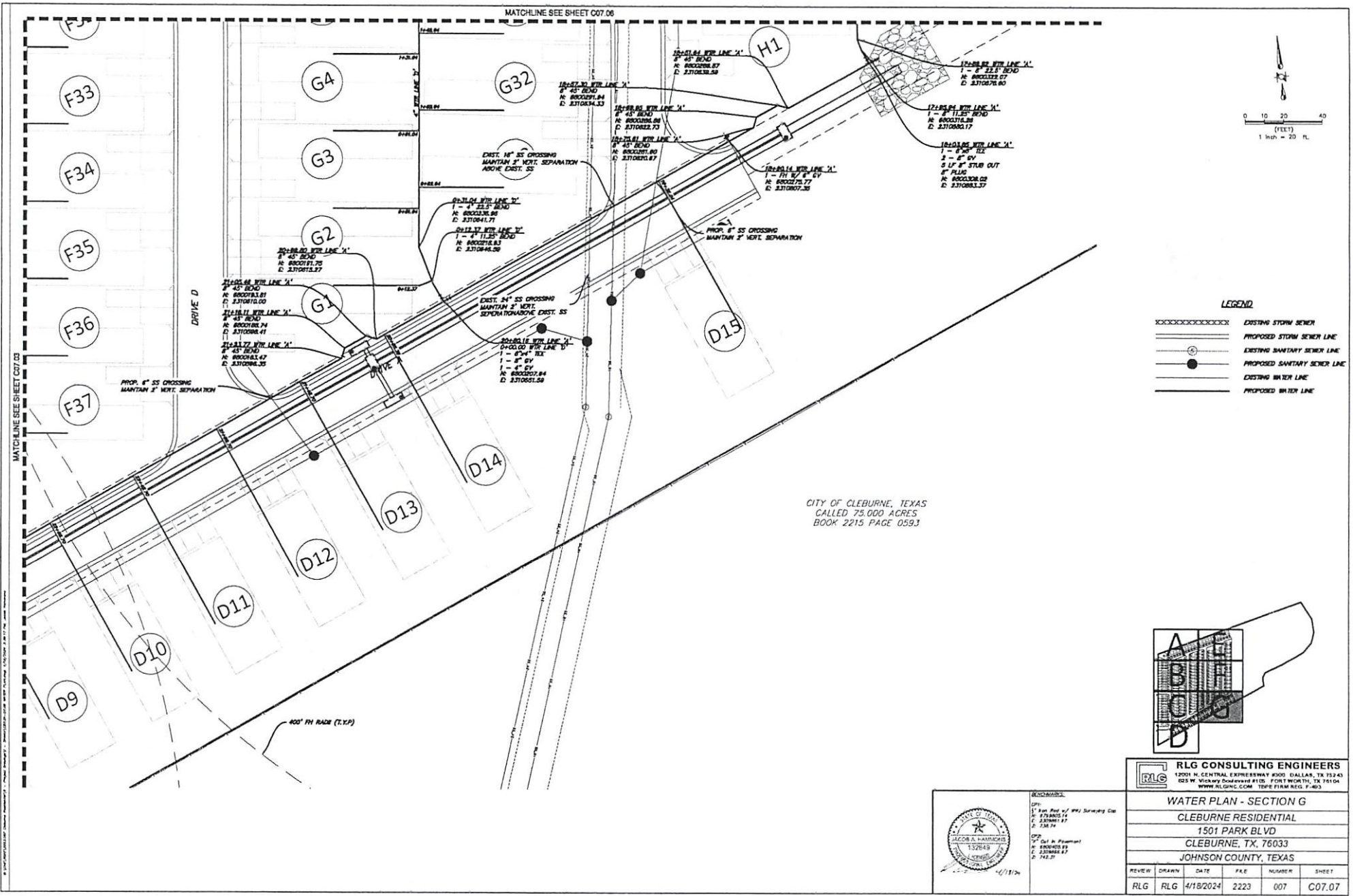


REVISIONS

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C: 5/20/2024 11
Z: 7:38:24

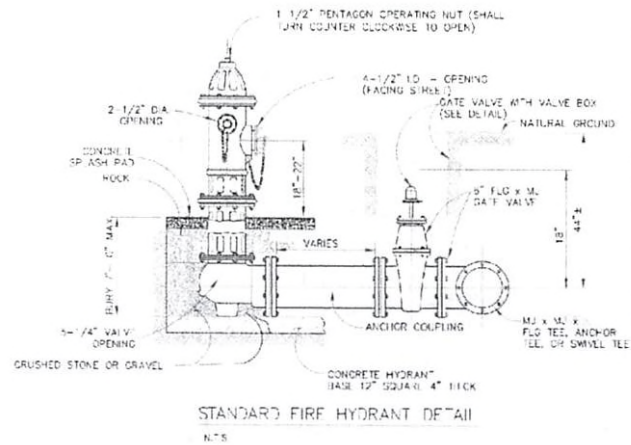
02: Out in Payment
R: 800.4225.89
C: 5/20/2024 17
Z: 7:42:37

4/11/24



MATCHLINE SEE SHEET C07.03

SCALE: 1/4" = 10' (TYP.)

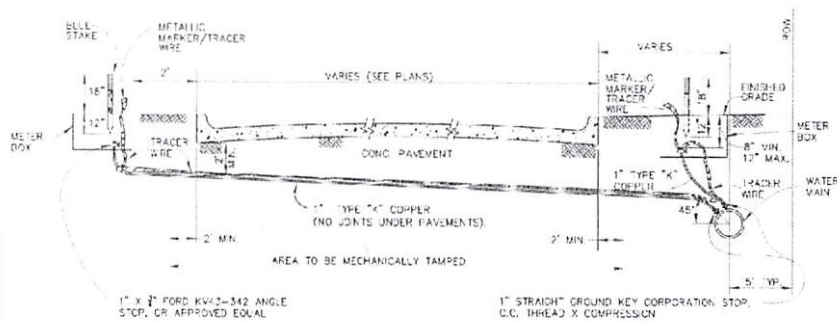
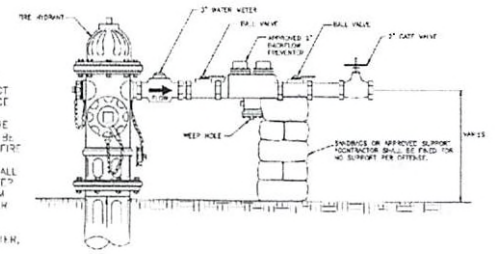


FIRE HYDRANT NOTES:

1. FIRE HYDRANT SHALL BE 6.0' OR MORE.
2. CENTER OF F.H. BARREL SHALL BE NOT LESS THAN 2.5' OR MORE THAN 3.0' FROM BACK OF CURB OR EDGE OF PAVEMENT, UNLESS OTHERWISE APPROVED BY THE ENGINEERING DEPARTMENT.
3. ON PRIVATE CONTRACTS, THE DEVELOPER'S ENGINEER WILL STAKE F.H. HORIZONTAL LOCATION AND FLANGE ELEVATION.
4. FIRE HYDRANT SHALL BE INSULATED (PIVOT ONLY), PAINTED AND BE INSTALLED.
5. FIRE HYDRANTS TO BE PAINTED BY BUILDER - SHERWIN WILLIAMS POLAR SILVER, PART # 16A-5 OR EQUIVALENT.
6. HYDRANT LEADS OR FITTINGS IN EXCESS OF 200' REQUIRE DOUBLE-CHECK ASSEMBLY AT MAIN.
7. ALL HYDRANT EXTENSIONS SHALL HAVE BREAKAWAY FLANGE AND STEM COUPLING.
8. BLOCKING OF FIRE HYDRANT SHALL BE REQUIRED FOR EXTENSIONS ACROSS STREETS AND YARDS OR LEADS LONGER THAN ONE JOINT OR THE LAST JOINT OF PIPE CONNECTING TO HYDRANT MUST BE A FULL JOINT.
9. DOWN HANG OR FIRE HYDRANT SHALL NOT EXCEED 7'-0" IF NECESSARY, RETAINED BENDS MAY BE USED TO ACHIEVE GRADE NEEDED WITH-OUT EXCEEDING 7'-0" LOWER BARREL HEIGHT. ALL PIPING TO BE DUCTILE IRON.
10. PIPE WITH HELIX ANKER GLANDS WILL ONLY BE PERMITTED FROM LEADS THAT EXCEED 50'.
11. FIRE HYDRANTS SHALL NOT BE INSTALLED IN EXISTING OR PROPOSED SIDEWALKS.
12. FIRE HYDRANT SHALL BE LOCATED OUTSIDE OF CURB RETURNS AND A MINIMUM OF 4' FROM DRIVEWAYS APPROACH RADIUS.
13. HYDRANT VALVE SHALL FOLLOW GATE VALVE DETAIL.
14. ALL PIPING SHALL BE DUCTILE IRON WITH ALL BURIED VALVE PIPE AND FITTINGS TO BE POIN-WRAPPED.
15. HYDRANTS LOCATED IN PARKWAY MUST HAVE SPLASH PADS EXTENDED TO CURB.

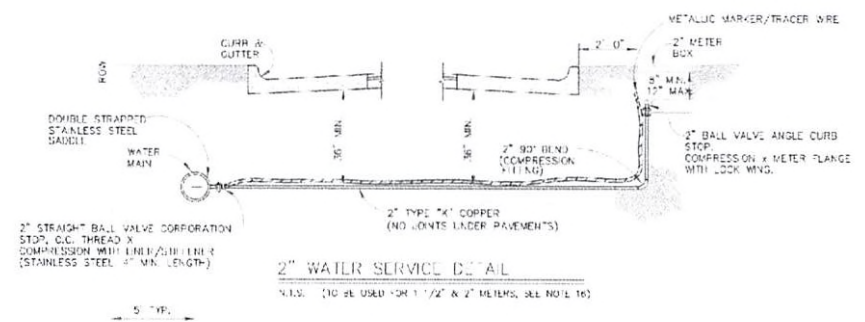
NOTES:

1. USE OF HYDRANT REQUIRES VALID WATER FIRE HYDRANT METER AGREEMENT, CONTACT WATER UTILITIES CUSTOMER SERVICE OFFICE FOR APPLICATION.
2. METER AND REDUCED BACKFLOW PRESSURE VALVE (RPB) BACKFLOW ASSEMBLY SHALL BE FULLY SUPPORTED WHEN CONNECTED TO FIRE HYDRANT.
3. 1/2" AND 3/4" BACKFLOW ASSEMBLY SHALL BE APPROVED BY CITY OF CLEBURNE WATER UTILITIES. METER MUST BE OBTAINED FROM CITY OF CLEBURNE WATER UTILITIES. METER SHALL BE TESTED ANNUALLY BY CITY OF CLEBURNE WATER UTILITIES.
4. FROM (1) ANY USE OF FIRE HYDRANT WITHIN 7'-0" CITY MUST BE TESTED BY A CITY-REGISTERED BACKFLOW PREVENTION ASSEMBLY (TESTER (EPAT), AND A CURRENT AND PASSING TEST AND MAINTENANCE REPORT (SMR) FOR THE 309 MUST BE SENT TO UTILITY BILLING AT (817) 545-0919. BACKFLOW ASSEMBLY SHALL BE TESTED ANNUALLY AND EACH TIME THE ASSEMBLY IS MOVED TO A DIFFERENT FIRE HYDRANT SITE. COPY OF TEST SHALL BE SENT TO CITY OF CLEBURNE WATER UTILITIES WATER RESOURCES SERVICES BEFORE USAGE WILL BE ALLOWED. CONTRACTOR WILL BE HELD RESPONSIBLE FOR ANY DAMAGE TO FIRE HYDRANT DURING USE.
5. SANDBAGS OR APPROVED SUPPORT SHALL NOT OBSTRUCT WEED HOLE.



1\"/>

N.T.S. (TO BE USED FOR 3/4\"/>

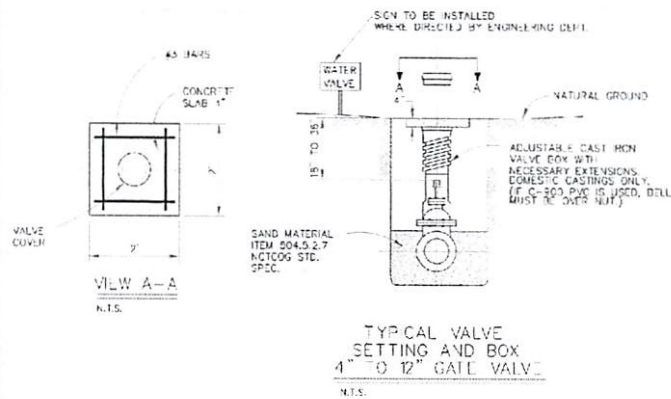


WATER SERVICE NOTES:

1. TRACER WIRE IS REQUIRED ALONG CITY SIDE SERVICE CONNECTION FROM MAIN TO METER.
2. TRACER WIRE IS REQUIRED ALONG ENTIRE LENGTH OF MAIN.
3. METER BOX MUST BE BEDDED WITH AT LEAST 4\"/>

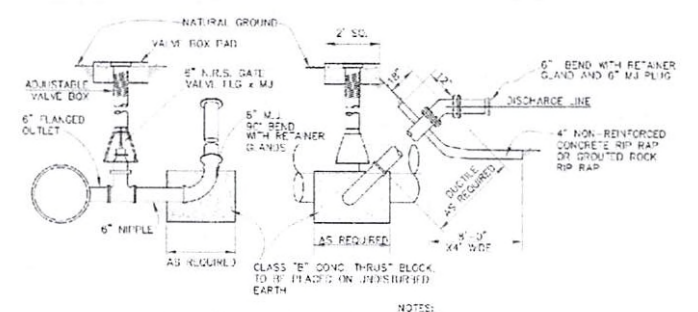


DET. NAME / PROJECT NO.		WATER DETAILS	
ENGINEERING SERVICES DEPARTMENT	FILED	W-1	SCALE: NOT TO SCALE
			DATE: 02/20/2020

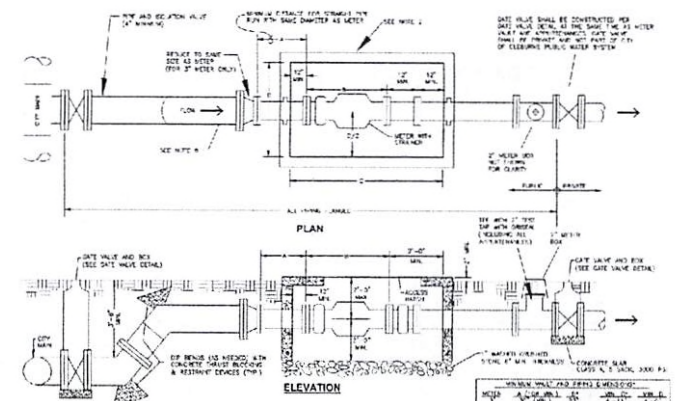
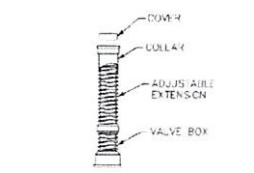
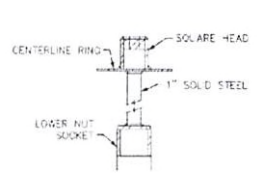


NOTES WATER VALVE

1. ALL VALVES TO BE RESILIENT SEAT GATE VALVES WITH NON-RISING STEM COUNTER-CLOCKWISE OPENING.
2. VALVE STEM EXTENSIONS WITH ROCK GUARDS AND LOCK CLIPS SHALL BE INSTALLED WHERE NECESSARY TO PLACE OPERATING NUT NOT MORE THAN 36" BELOW FINISHED GRADE.
3. VALVES SHALL BE GLOW VALVES (OR APPROVED EQUAL) WITH STAINLESS STEEL HARDWARE (NUTS AND BOLTS), FLANGED WHERE APPLICABLE. MATERIALS AND INSTALLATION SHALL BE IN ACCORDANCE WITH NCI006 ITEM 202B.
4. ALL VALVES SHALL BE INSTALLED WITH 2'x2' CONCRETE PAD WITH VALVE COVERS IN CENTER OF PAD. THE CONCRETE PAD SHALL MATCH PAVEMENT THICKNESS WITH PAVEMENT, OR BE 4" THICK OUTSIDE PAVED AREAS. PADS SHALL BE REINFORCED WITH FOUR NO. 3 REBARS AROUND CONCRETE PADS.
5. VALVES SHALL BE INSTALLED IN CENTER OF LANE AND OUTSIDE NORMAL TRIP PATH OF LANE WHEN IN PAVED ROADWAYS.



- NOTES:**
1. MUST BE DISCHARGED INTO STORM DRAIN OR DITCH OF CULVERT.
 2. USE APPROPRIATE BEND TO MAKE DISCHARGE END HORIZONTAL.
 3. ALL FITTINGS SHALL BE RETAINED & DISCHARGE END SHALL BE CLOSED W/ W/4 PLUG.



- NOTES**
1. PITING & CORROSION: ALL EXPOSED STEEL SHALL BE GALVANNEAL. GALVANNEAL SHALL BE REFINISHED IN PLANTS FACTORY FINISH.
 2. WELDS SHALL BE BEVELLED & WELDED OR PROTECTED INTERNAL DISINTEGRATION OR ANY OTHER MEANS.
 3. ACCESS HOLES FOR METER SHALL BE 2'-0" x 2'-0" AND BE LOCATED FOR EASE OF ENTRY AND ACCESS TO METERS.
 4. TOP OF METER SHALL BE 2' ABOVE FINISHED GRADE. COVER SHALL BE 12" ABOVE FINISHED GRADE.
 5. METER OPERABLE AND NOT ALLOWED ON ONE-WAY STREET.
 6. A 4" GAP SHALL BE ALLOWED FOR 3" AND 4" METERS BETWEEN THE METERS TO CLEAR THEM FROM THE WATER SIDE.

METER VAULT DETAIL
N.T.S.



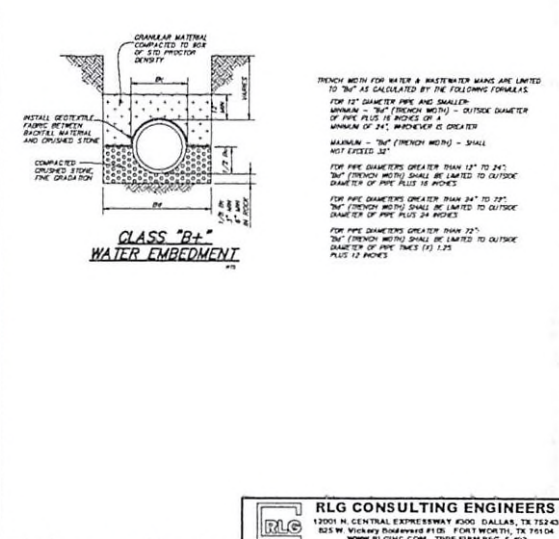
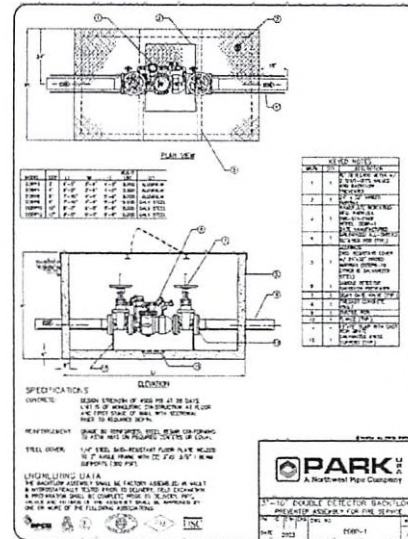
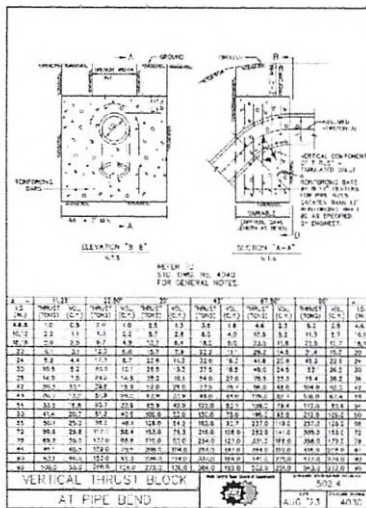
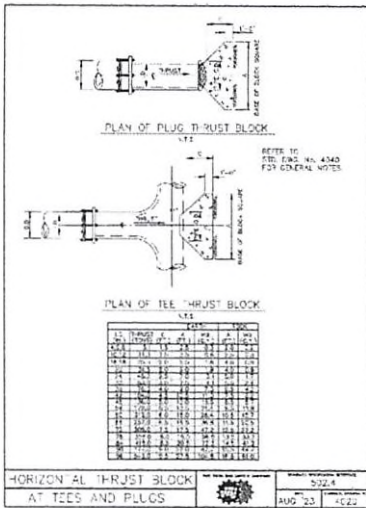
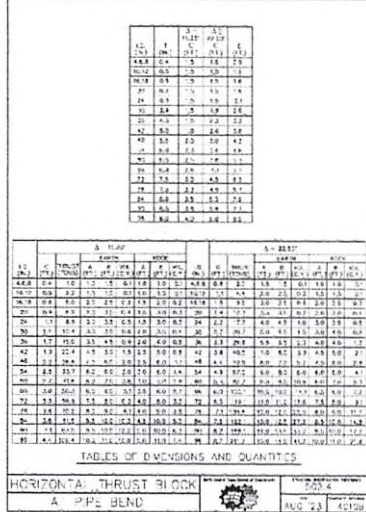
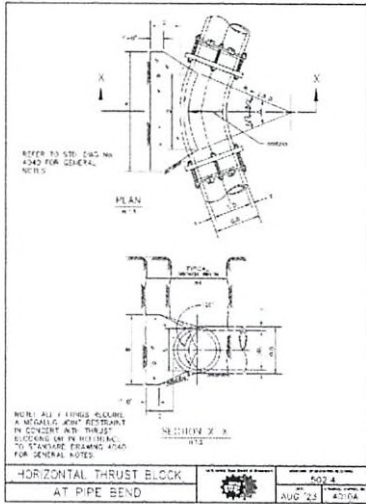
DATE / PROJECT NO. _____

WATER DETAILS

ENGINEERING SERVICES DEPARTMENT

W-2

N.T.S.
SCALE TO SCALE
DATE _____
2023 VERSION



RLG CONSULTING ENGINEERS
13001 N. CENTRAL EXPRESSWAY #300 DALLAS, TX 75243
825 W. WICKHAM BOULEVARD #100 FORT WORTH, TX 76104
WWW.RLG-ENG.COM TEL: 972.358.1400

WATER DETAILS
CLEBURNE RESIDENTIAL
1501 PARK BLVD
CLEBURNE, TX, 76033
JOHNSON COUNTY, TEXAS

REVISION	DRAWN	DATE	FILE	NUMBER	SHEET
RLG	RLG	4/18/2024	2223	007	C09.02

PARK
A Northern Pipe Company

3" TO 10" EXHIBIT DETECTOR BACKLOG
SCHEDULED DETECTOR FOR THE DETECTOR

DATE: 08/23/24

DESIGN: 1

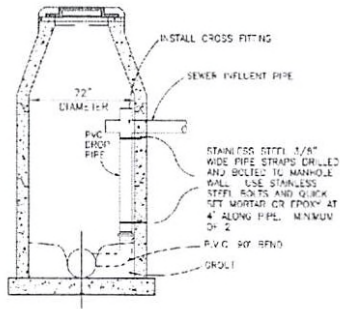
REVISIONS:

001: Rev. Add. of 800' Sampling Grid
1: 8/23/24
2: 238.74

002: Call & Payment
1: 8/23/24
2: 238.74

003: 8/23/24

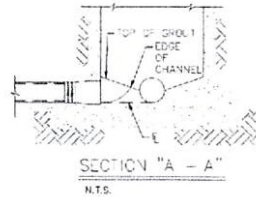
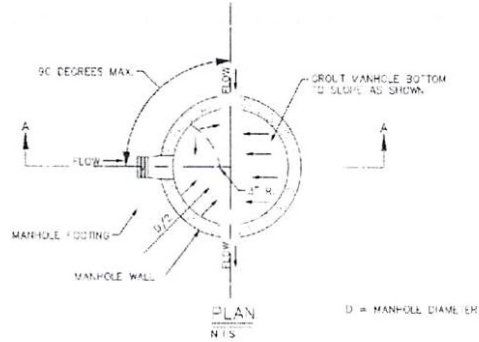




DROP CONNECTIONS FOR SANITARY SEWER MANHOLE

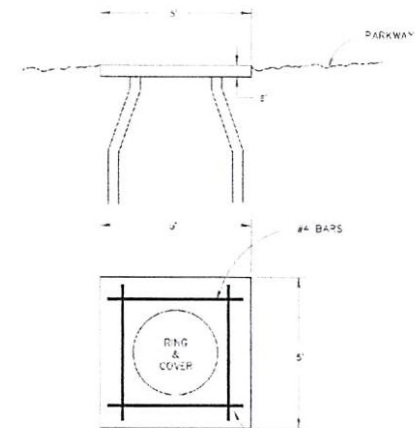
N.T.S.

1. DROP PIPE SHALL BE ONE SIZE LARGER THAN SEWER INFLUENT PIPE.
2. ALL DROP MANHOLES SHALL BE 72" DIAMETER.
3. NO DROP PIPING SHALL BE REQUIRED IF SEWER INFLUENT PIPE IS GRADE OR IS 12" OR LESS ABOVE MAIN SEWER PIPE. HEADINGS ON 1" MAIN SEWER PIPE BEING HIGHER THAN SEWER INFLUENT FLOWLINE.



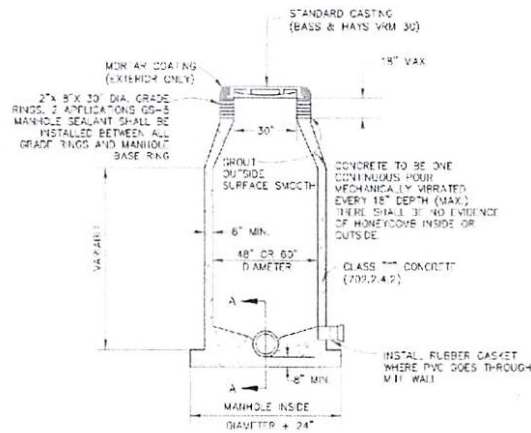
GENERAL NOTES:

1. ALL CONSTRUCTION MATERIALS, METHODS AND PLACEMENT NOT DETAILED BELOW SHALL MEET OR EXCEED THE STANDARD SPECIFICATIONS OF THE NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS, OCTOBER 2004 EDITION UNLESS SUPERSEDED BY CITY OF CLEBURNE STANDARD SPECIFICATIONS OR MATERIAL TESTING POLICIES.
2. RING AND COVER SHALL BE DOMESTIC CASTING ONLY. (BASS & HAYS VHM 30). CAST IN PLACE MANHOLE OR WEIGHTED DESIGNED CONE WITH BOLT DOWN RING AND COVER TO BE USED IN FLOOD-PRONE AREA AND MUST BE ANCHORED INTO CON.
3. MANHOLE MARKERS SHALL BE INSTALLED IN ALL UNDEVELOPED AREAS.
4. MANHOLES SHALL BE FLARED MONOLITHICALLY WITH STEEL. IF A BLOCK OUT IS NEEDED, INSPECTOR WILL PRE-APPROVE SIZE & SHAPE OF BLOCK OUT.
5. INVERTS FOR CAST-IN-PLACE MANHOLES SHALL BE MADE BY PLACING PIPE CONTINUOUSLY THROUGH MANHOLES AND CUTTING OUT THE TOP OF THE PIPE. A MINIMAL AMOUNT OF CONCRETE INVERT BETWEEN PIPE JOINTS WILL BE PERMITTED.
6. CONCRETE FOR MANHOLES TO BE CLASS "T" (6.5 SACK, 4200 PSI) PER NCTCOG SPECIFICATIONS 702.2.4.2. ALL CONCRETE SHALL CONTAIN SUFFICIENT AIR ENTRAINING AGENT TO YIELD AN AIR CONTENT.
7. NO RINGED MANHOLE LIDS WITHOUT REASON AND APPROVED BY DIRECTOR OF PUBLIC WORKS.
8. WATER AND SEWER MAINS SHALL BE PLACED ON OPPOSITE SIDES OF THE STREET.
9. ALL MANHOLES SHALL BE INSTALLED WITH 5'x5' CONCRETE PAD WITH MANHOLE COVERS IN CENTER OF PAD. THE CONCRETE PAD SHALL MATCH PAVEMENT THICKNESS WITHIN PAVEMENT, OR BE 6" THICK OUTSIDE PAVED AREAS. PADS SHALL BE REINFORCED WITH FOUR NO. 4 REBARS, AROUND EACH OF THE PADS.
10. MANHOLES SHALL BE INSTALLED IN CENTER OF LANE AND OFFSET NORMAL DIST. PATH OF LANE WHEN IN PAVED ROADSWAYS.
11. VALVE AND MANHOLE MARKERS SHALL BE EMBEDDED INTO CURB AND PAINTED WITH DIRECTION ARROWS. SERVICE LINES SHALL NOT CROSS LOT LINES.
12. SEWER AND WATER MAINS SHALL BE MINIMUM 9' APART.
13. CLEANOUTS ARE TO BE LOCATED IN THE PARKWAY BETWEEN THE CURB AND SIDEWALK.
14. CLEANOUTS ARE NOT ALLOWED IN DRIVEWAYS OR SIDEWALKS.



MANHOLE PAD DETAIL

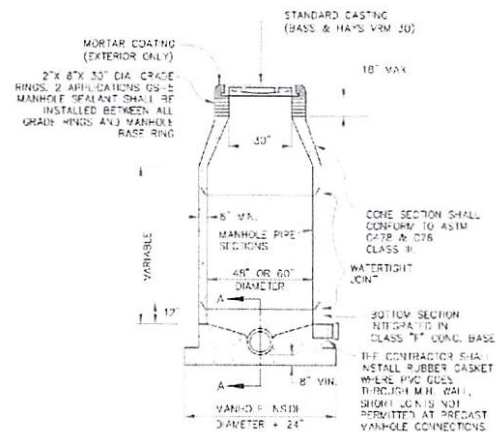
N.T.S.



CAST IN PLACE MANHOLE

N.T.S.

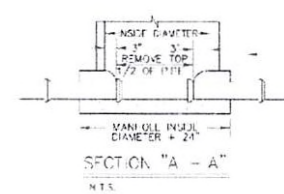
1. MANHOLES FOR SEWER MAINS 12" OR LARGER SHALL BE 5' DIAMETER MINIMUM.
2. MANHOLES 12" OR DEEPER SHALL BE 5' DIAMETER MINIMUM.



PRECAST CONCRETE MANHOLE

N.T.S.

1. MANHOLES FOR SEWER MAINS 12" OR LARGER SHALL BE 5' DIAMETER MINIMUM.
2. MANHOLES 12" OR DEEPER SHALL BE 5' DIAMETER MINIMUM.



N.T.S.

DATE: 11/11/11

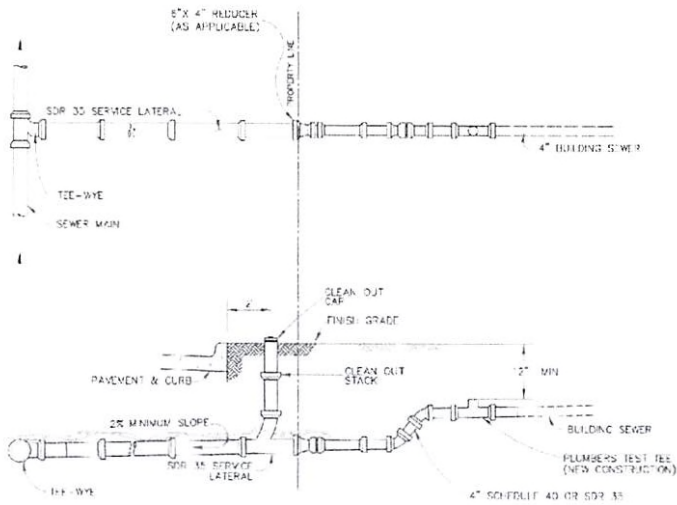
SEWER DETAILS

ENGINEERING SERVICES DEPARTMENT

SS-

NOT TO SCALE
DATE: 2022 VERSION



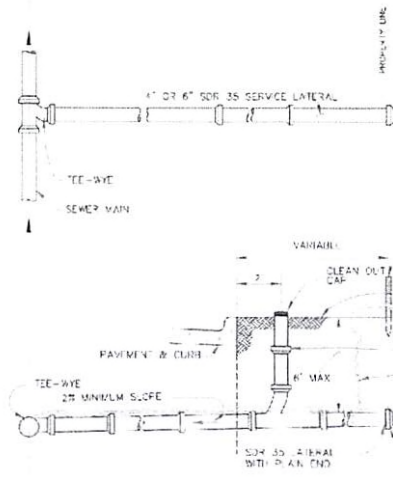


NOTES:

1. RUBBER BOOTS WILL ONLY BE PERMITTED FOR CLAY OR CONCRETE TILE SERVICE PIPE AND MUST BE CONCRETE ENCASED.
2. ONE 4" CONNECTION PER DWELLING UNIT (RESIDENTIAL ONLY).

STANDARD SEWER SERVICE CONNECTION

N.T.S. (PLUMBER CONNECTION OR 0" RECONSTRUCTION)



NOTES:

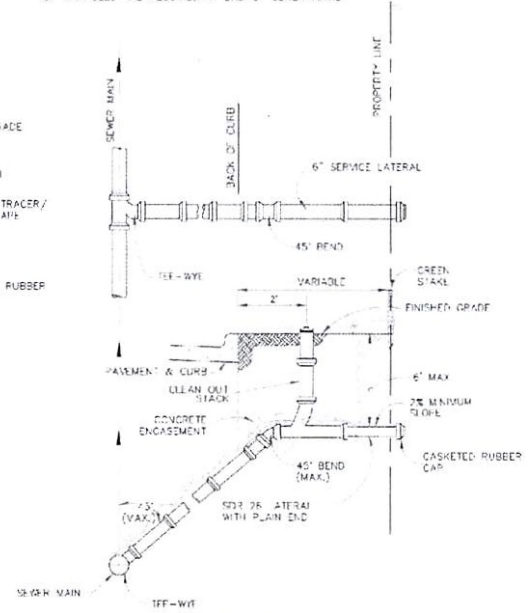
1. ONE 4" CONNECTION PER DWELLING UNIT (RESIDENTIAL ONLY).

STANDARD SEWER SERVICE FOR NEW CONSTRUCTION

N.T.S. (4" MIN FOR RESIDENTIAL ONLY)

GENERAL NOTES:

1. ALL CONNECTIONS ON MAINLINES, MANHOODS AND PLACEMENT NOT INSTALLED BEFORE SHALL MEET OR EXCEED THE STANDARD SPECIFICATIONS OF THE NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS, OCTOBER 2004 EDITION, UNLESS SUPERSEDED BY CITY OF CLEBURNE STANDARD SPECIFICATIONS ON VERTICAL TESTING PROCEDURES.
2. WHERE COVER IS LESS THAN 3.0 FEET, SANITARY SEWER MAINS AND LATERALS SHALL BE CONCRETE ENCASED OR CAPPED (SEE SHEET SS-3).
3. METALLIC TRACER/MARKER TAPE, GREEN IN COLOR AND MARKED "SANITARY SEWER", TO BE PLACED ALONG MAIN LINES & SERVICES ON TOP OF CRUSHED STONE FILL/EMBEDMENT.
4. DOUBLE SWEEP CLEANOUT 12" BEHIND CURB.
5. NO APPURTENANT STRUCTURES ALLOWED N. SIDEWALK OR DRIVEWAYS.
6. CLEANOUTS ARE TO BE LOCATED IN THE "RAKWAY BETWEEN THE CURB AND SIDEWALK."
7. CLEANOUTS ARE NOT ALLOWED IN DRIVEWAYS OR SIDEWALKS.
8. MANHOLES ARE REQUIRED AT END OF SEWER MAIN.

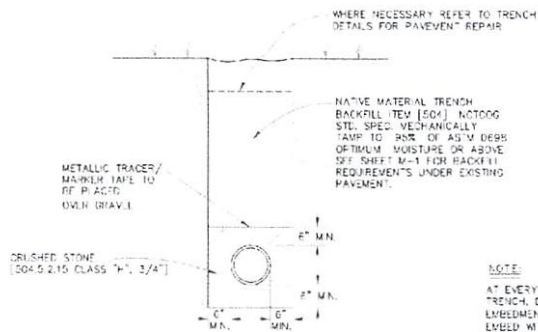


STANDARD DEEP SERVICE DETAIL FOR NEW CONSTRUCTION

N.T.S.

NOTES:

1. ROTATE TEE-WYE TO 45° MAX.
2. ONLY ONE 45° BEND WILL BE USED. 45° BEND MUST BE PLACED OUTSIDE OF PAVEMENT WHERE POSSIBLE.
3. CONCRETE ENCASE 45° BEND.



SANITARY SEWER TYPICAL EMBEDMENT

N.T.S.

NOTE:

AT EVERY 100' INTERVAL ALONG TRENCH, DELETE BEDDING AND EMBEDMENT FOR 6' ALONG TRENCH EMBED WITH CLASS "B" CONCRETE OR FLOWABLE FILL TO DISRUPT WATER MOVEMENT DOWN TRENCH.



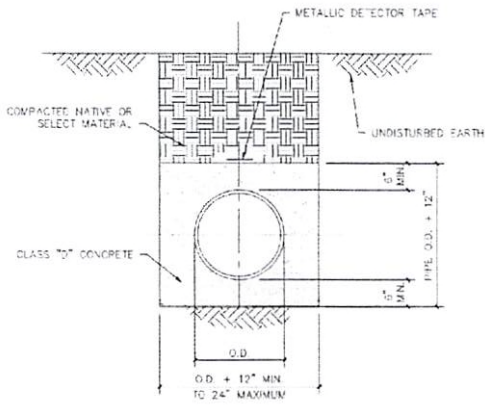
DETAIL NAME / PROJECT NO.

SEWER DETAILS

ENGINEERING SERVICES DEPARTMENT

SS-2

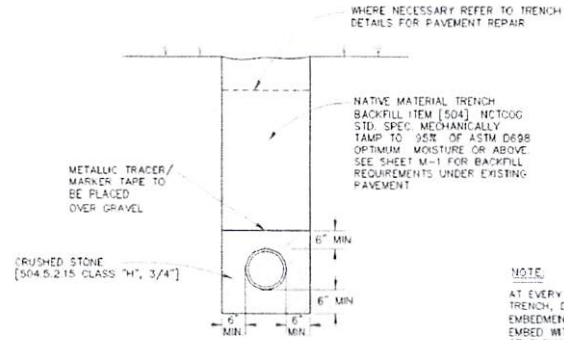
SCALE: 1/4" = 1'-0"
DATE: 2022 REVISION



NOTE:
CONCRETE ENCASEMENT
MAY BE MODIFIED FOR A
CONCRETE CAP.

CONCRETE ENCASEMENT

N.T.S.

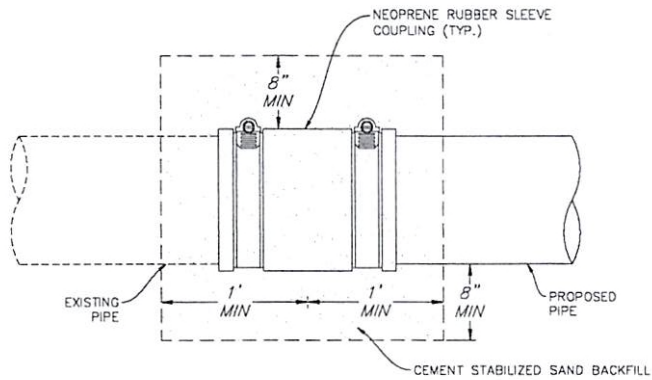


NOTE:

AT EVERY 100' INTERVAL ALONG
TRENCH, DELETE BEDDING AND
EMBEDMENT FOR 6' ALONG TRENCH
EMBED WITH CLASS 'B' CONCRETE
OR FLOWABLE FILL TO DISCOURAGE
WATER MOVEMENT DOWN TRENCH.

SANITARY SEWER TYPICAL EMBEDMENT

N.T.S.



SANITARY SEWER POINT REPAIR DETAIL

N.T.S.

RLG CONSULTING ENGINEERS 12001 N. CENTRAL EXPRESSWAY #300 DALLAS, TX 75243 825 W. VICKERY BOULEVARD #102 FORT WORTH, TX 76104 WWW.RLGCONS.COM TWP.FIRM REG. F-403					
SEWER DETAILS					
CLEBURNE RESIDENTIAL					
1501 PARK BLVD					
CLEBURNE, TX, 76033					
JOHNSON COUNTY, TEXAS					
REVIEW	DRAWN	DATE	FILE	NUMBER	SHEET
RLG	RLG	4/18/2024	2223	007	C09.05

WOODMARK

CIP: 11
 A. 879845.04
 C. 230861.07
 D. 238.74

CIP: 17
 A. 890405.09
 C. 230861.07
 D. 242.37

4/11/24

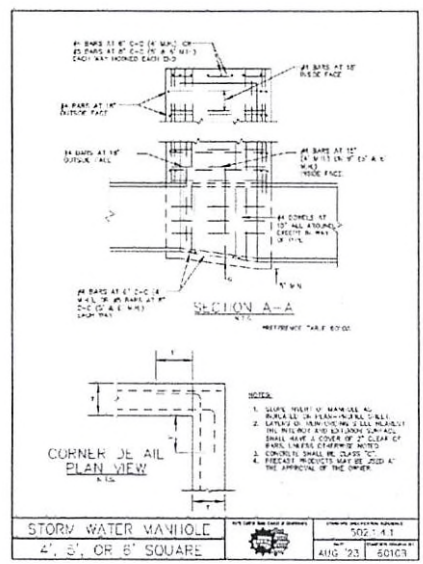
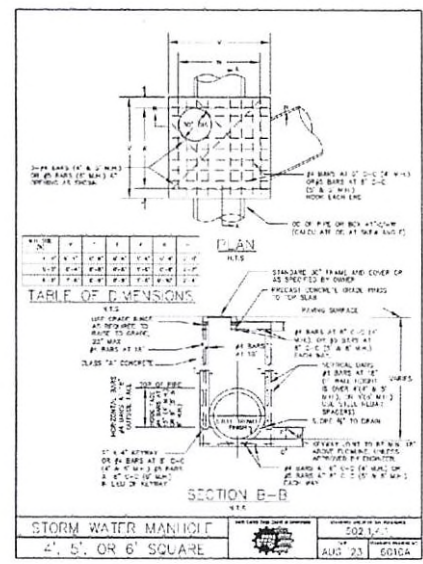
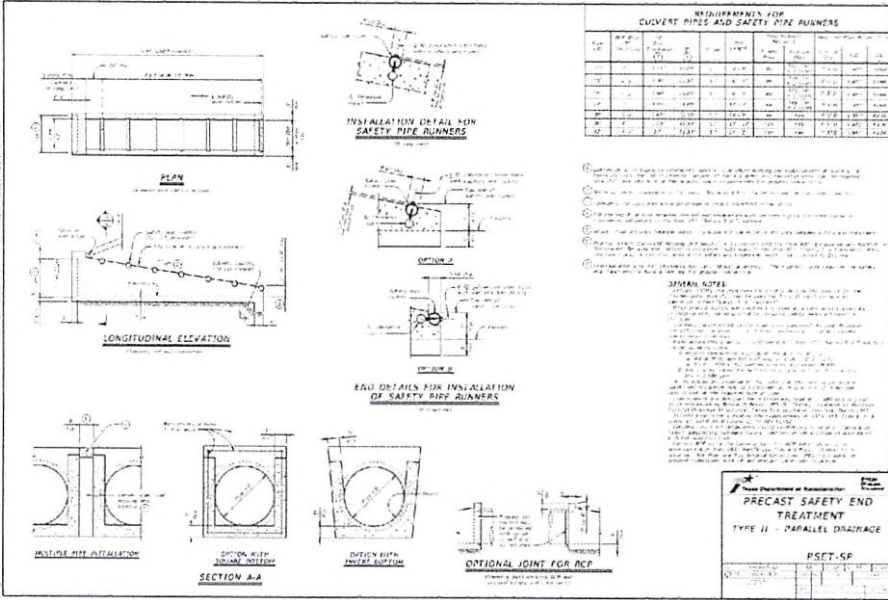


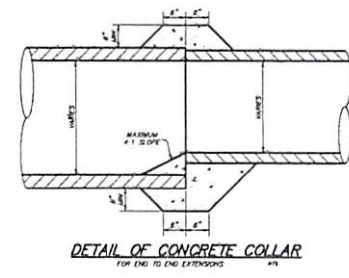
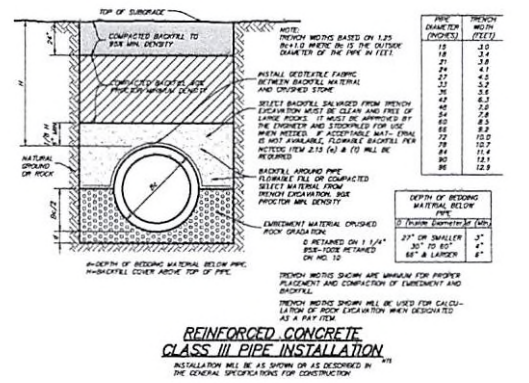
Figure 3.10 Riprap Gradation Tables for 18", 24", 30", and 36" Thickness of Riprap

RIPRAP GRADATIONS	
36" THICKNESS OF RIPRAP	
SIEVE SIZE SQUARE MESH	PERCENT PASSING
44 INCH	100
36 INCH	65 - 100
30 INCH	50 - 80
18 INCH	25 - 45
12 INCH	10 - 25
8 INCH	0 - 10

RIPRAP GRADATIONS	
30" THICKNESS OF RIPRAP	
SIEVE SIZE SQUARE MESH	PERCENT PASSING
36 INCH	100
30 INCH	65 - 100
24 INCH	45 - 75
18 INCH	25 - 50
12 INCH	10 - 25
8 INCH	0 - 10

RIPRAP GRADATIONS	
24" THICKNESS OF RIPRAP	
SIEVE SIZE SQUARE MESH	PERCENT PASSING
30 INCH	100
24 INCH	65 - 100
18 INCH	45 - 75
12 INCH	25 - 50
8 INCH	10 - 30
6 INCH	0 - 15

RIPRAP GRADATIONS	
18" THICKNESS OF RIPRAP	
SIEVE SIZE SQUARE MESH	PERCENT PASSING
24 INCH	100
18 INCH	65 - 100
12 INCH	35 - 65
8 INCH	15 - 40
6 INCH	5 - 25
4 INCH	0 - 15



CITY OF JOHNSON COUNTY
JACOB A. HANCOCK
132849
CLERK

RECORDS

FILED IN PRESENTMENT
M. 20240823
A. 20240827
P. 742.21

RLG CONSULTING ENGINEERS

12001 N. CENTRAL EXPRESSWAY #300 DALLAS, TX 75243
825 W. WILKINS BOULEVARD #101 FORT WORTH, TX 76104
WWW.RLG-ENG.COM T9097.FRM REC. F-403

STORM DETAILS (SHEET 1 OF 2)

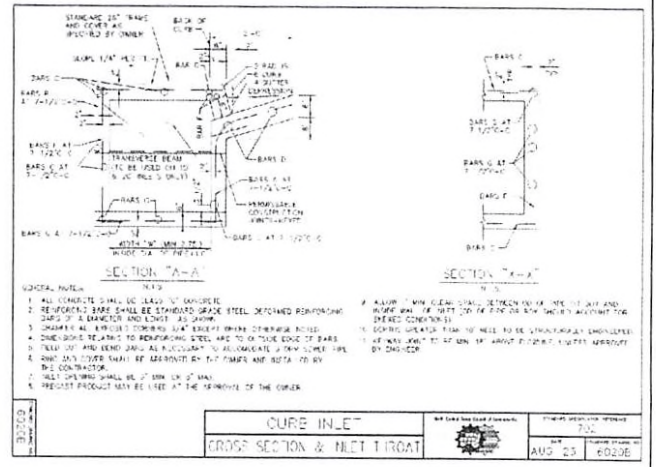
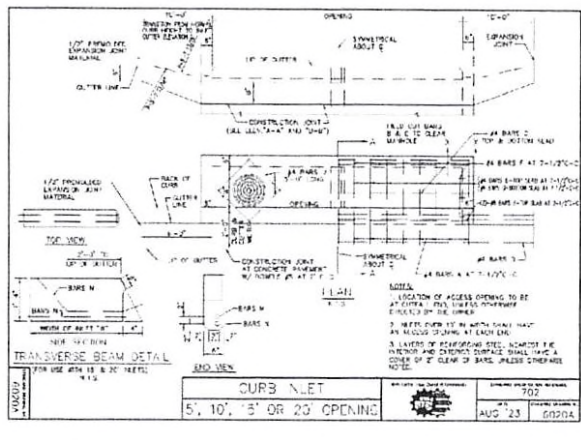
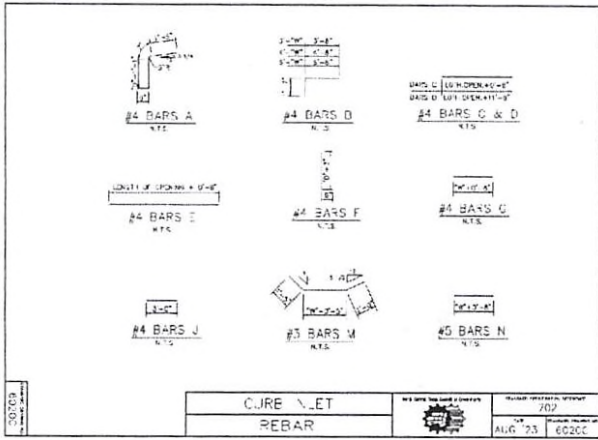
CLEBURNE RESIDENTIAL

1501 PARK BLVD

CLEBURNE, TX, 76033

JOHNSON COUNTY, TEXAS

REVISION	DRAWN	DATE	FILE	NUMBER	SHEET
RLG	RLG	4/18/2024	2223	007	C09.06



BILL OF REINFORCING STEEL

NO.	DESCRIPTION	QTY	UNIT	WEIGHT	TOTAL WEIGHT
1	#4 BARS A	100	FT	1.10	110
2	#4 BARS B	100	FT	1.10	110
3	#4 BARS C	100	FT	1.10	110
4	#4 BARS D	100	FT	1.10	110
5	#4 BARS E	100	FT	1.10	110
6	#4 BARS F	100	FT	1.10	110
7	#4 BARS G	100	FT	1.10	110
8	#4 BARS H	100	FT	1.10	110
9	#4 BARS I	100	FT	1.10	110
10	#4 BARS J	100	FT	1.10	110
11	#4 BARS K	100	FT	1.10	110
12	#4 BARS L	100	FT	1.10	110
13	#4 BARS M	100	FT	1.10	110
14	#4 BARS N	100	FT	1.10	110

CURE INLET

PROJECT: 7029
DATE: AUG 23 2024
DRAWN BY: [Signature]

SUMMARY OF QUANTITIES

ITEM NO.	DESCRIPTION	QTY	UNIT	WEIGHT	TOTAL WEIGHT
1	#4 BARS A	100	FT	1.10	110
2	#4 BARS B	100	FT	1.10	110
3	#4 BARS C	100	FT	1.10	110
4	#4 BARS D	100	FT	1.10	110
5	#4 BARS E	100	FT	1.10	110
6	#4 BARS F	100	FT	1.10	110
7	#4 BARS G	100	FT	1.10	110
8	#4 BARS H	100	FT	1.10	110
9	#4 BARS I	100	FT	1.10	110
10	#4 BARS J	100	FT	1.10	110
11	#4 BARS K	100	FT	1.10	110
12	#4 BARS L	100	FT	1.10	110
13	#4 BARS M	100	FT	1.10	110
14	#4 BARS N	100	FT	1.10	110

CURE INLET

PROJECT: 7029
DATE: AUG 23 2024
DRAWN BY: [Signature]

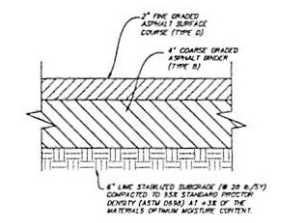
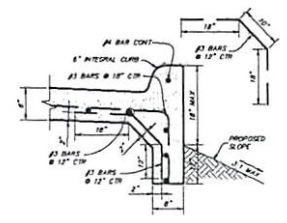
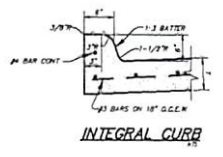
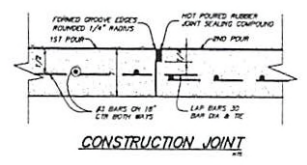
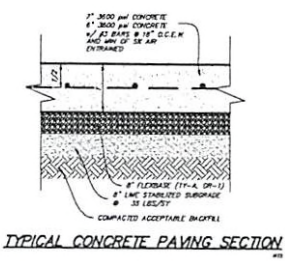
RLG CONSULTING ENGINEERS
13001 W CENTRAL EXPRESSWAY #300 DALLAS, TX 75243
825 W. Vickrey Boulevard #100 FORT WORTH, TX 76104
WWW.RLGCEN.COM TEXAS FIRM REG. P. 603

STORM DETAILS (SHEET 2 OF 2)

CLEBURNE RESIDENTIAL
1501 PARK BLVD
CLEBURNE, TX, 76033
JOHNSON COUNTY, TEXAS

REVIEW	DRAWN	DATE	PLS	NUMBER	SHEET
RLG	RLG	4/18/2024	2223	007	C09.07





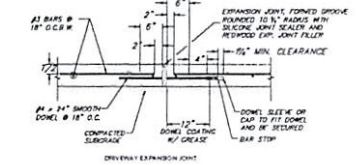
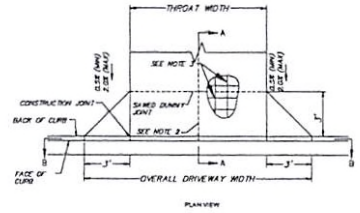
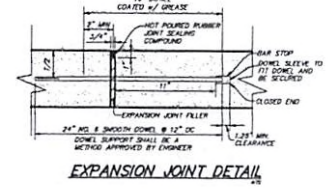
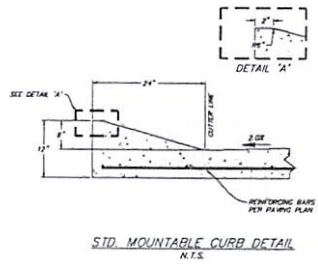
TYPICAL CONCRETE PAVING SECTION
N.T.S.

CONSTRUCTION JOINT
N.T.S.

INTEGRAL CURB
N.T.S.

PAVEMENT GRADE BEAM
N.T.S.

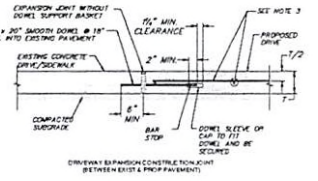
TYPICAL ASPHALT PAVING SECTION
N.T.S.



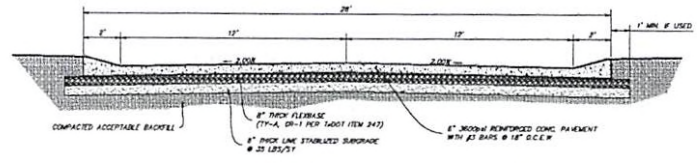
STD. MOUNTABLE CURB DETAIL
N.T.S.

EXPANSION JOINT DETAIL
N.T.S.

PAN DRIVEWAY APPROACH DETAIL
SCALE: N.T.S.



DRIVEWAY EXPANSION JOINT (NON JOINT BETWEEN EXIST & PROP PAVEMENT)



TYPICAL DRIVEWAY SECTION
N.T.S.

DRIVEWAY NOTES:

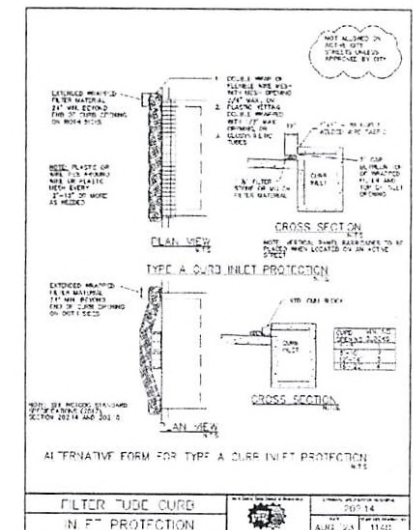
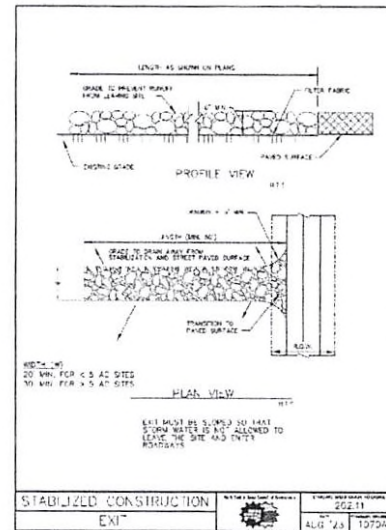
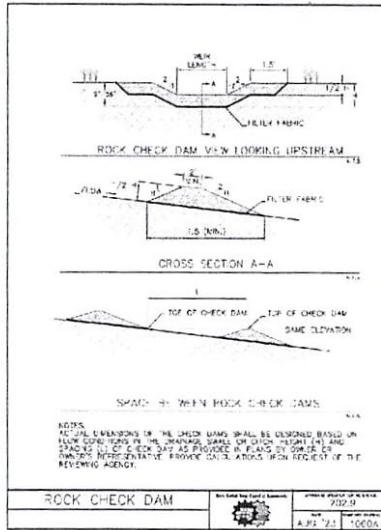
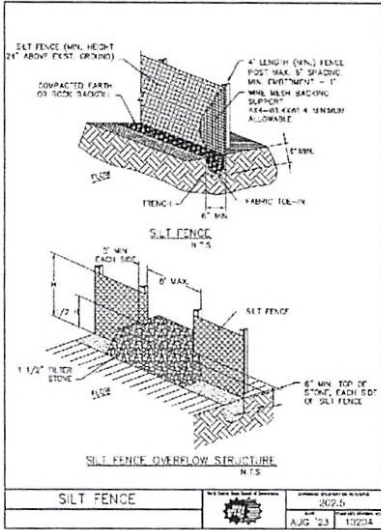
1. GLENN JOINTS IN DRIVE REQUIRED TO CORRESPOND WITH JOINTS IN CONCRETE PAVEMENT.
2. THE GRADE BREAK AT THE GUTTER LINE AND AT ANY POINT WITHIN 10 FEET OF GUTTER LINE MUST NOT EXCEED 1/8\"/>

NOTE:
The geotechnical report No. 25-236544.2 by Partner International Corporation is considered a part of this document. The contractor must refer to the construction requirements. If differences are noted between these plans and the geotechnical report, the requirements outlined in the geotechnical report will govern. The contractor must contact the geotechnical engineer and geotechnical firm and inform them of all discrepancies and plan modifications.



REVISIONS:
 01: 1' from Red w/ WPI Surveying Co
 02: 8/7/2025 14
 03: 8/20/25 17
 04: 7/24/24
 05: 12' Gap in Pavement
 06: 8/20/25 25
 07: 8/20/25 27
 08: 7/22/21

RLG CONSULTING ENGINEERS					
12001 N. CENTRAL EXPRESSWAY #200 DALLAS, TX 75243 925 W. VICKERS ROAD SUITE #100 FORT WORTH, TX 76104 WWW.RLGINC.COM TDDIS FIRM REG. F-403					
PAVING DETAILS					
CLEBURNE RESIDENTIAL					
1501 PARK BLVD					
CLEBURNE, TX, 76033					
JOHNSON COUNTY, TEXAS					
REVIEW	DRAWN	DATE	FILE	NUMBER	SHEET
RLG	RLG	4/18/2024	2223	007	C09.08



SILT FENCE GENERAL NOTES

- DESIGNER SHALL SHOW ON THE DRAWINGS THE LOCATIONS WHERE OVERFLOW STRUCTURES SHALL BE INSTALLED. OVERFLOW STRUCTURES ARE REQUIRED AT ALL LOW POINTS AND AT A SPACING OF APPROXIMATELY 200 FEET WHERE NO LOW POINT IS APPARENT.
- DESIGNER SHALL SHOW ON THE DRAWINGS THE LOCATIONS WHERE SILT FENCE IS TO BE TURNED UPSLOPE AT THE ENDS. UPSLOPE LENGTHS SHALL BE A MINIMUM OF 10 FEET.
- POST WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE. POST MUST BE EMBEDDED A MINIMUM OF ONE FOOT.
- THE TOP OF THE SILT FENCE SHALL BE TRENCHED IN WITH A SPADE OR MECHANICAL TRENCHER, SO THAT THE DOWNSLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF FLOW.
- THE TRENCH MUST BE A MINIMUM OF 8 INCHES DEEP AND 6 INCHES WIDE TO ALLOW FOR THE SILT FENCE FABRIC TO BE Laid IN THE GROUND AND BACKFILLED WITH COMPACTED MATERIAL.
- SILT FENCE SHOULD BE SECURELY FASTENED TO EACH SUPPORT POST OR TO WIRE BASKING, WHICH IN TURN IS ATTACHED TO THE FENCE POST. THERE SHALL BE A 3 FOOT OVERLAP, SECURELY FASTENED WHERE ENDS OF FABRIC MEET.
- INSPECTION SHALL BE AS SPECIFIED IN THE SUPPER. REPAIR OR REINFORCEMENT SHALL BE MADE PROMPTLY AS NEEDED.
- SILT FENCE SHALL BE REMOVED WHEN FINAL STABILIZATION IS ACHIEVED OR ANOTHER EROSION OR SEDIMENT CONTROL DEVICE IS EMPLOYED.
- ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF HALF THE HEIGHT OF THE FENCE. THE SILT SHALL BE DISPOSED OF AT AN APPROVED SITE AND IN SUCH A MANNER AS TO NOT CONTRIBUTE TO ADDITIONAL SILTATION.
- SEE NCTCOG STANDARD SPECIFICATIONS (2017), SECTION 202.5.

SILT FENCE	REVISED SPECIFICATION NUMBER	2023.5
GENERAL NOTES	DATE	AUG '23 102004

ROCK CHECK DAM GENERAL NOTES

- SEE NCTCOG STANDARD SPECIFICATIONS (2017), SECTION 202.9 CHECK DAM (2004).
- STONE SHALL BE WELL GRADED WITH SIZE RANGE FROM 1/8" TO 3/8" IN DIAMETER DEPENDING ON EXPECTED FLOWS.
- THE CHECK DAM SHALL BE INSTALLED AS SPECIFIED IN THE SUPPER AND SHALL BE 18" DEEP WITH THE TRENCHING SPACING TO BE 10 FEET MIN. TO 12 FEET MAX. ACCUMULATION AMONG THE ROCKS, WASHING, CONSTRUCTION METHODIC DAMAGE, ETC.
- WHEN SO, REPAIRS A 1/2" MIN. TO ONE (1) IN. OF THE HEIGHT OF THE CHECK DAM OR ONE FOOT, WHICHEVER IS LESS, THE SILT SHALL BE REMOVED AND DISPOSED OF PROPERLY.
- WHEN THE SITE HAS ACHIEVED FINAL STABILIZATION OR ANOTHER EROSION OR SEDIMENT CONTROL DEVICE IS EMPLOYED, THE CHECK DAM AND ACCUMULATED SILT SHALL BE REMOVED AND DISPOSED OF IN AN APPROVED MANNER.

ROCK CHECK DAM	REVISED SPECIFICATION NUMBER	2023.5
GENERAL NOTES	DATE	AUG '23 101004

STABILIZED CONSTRUCTION GENERAL NOTES

- SEE NCTCOG STANDARD SPECIFICATIONS (2017), SECTION 202.11.
- THE THICKNESS SHALL NOT BE LESS THAN 6 INCHES.
- STONE SHALL BE 3 TO 5.5 INCH DIAMETER COURSE AUGMENTED WITH 1/2" TO 1" SAND OR OTHER SOURCE IF ALLOWED.
- LENGTH SHALL BE SHOWN ON PLANS WITH A MINIMUM LENGTH OF 50 FEET.
- THE WIDTH SHALL BE NO LESS THAN 20" FOR SITES LESS THAN 5 AC. AND 30" FOR SITES GREATER THAN 5 AC. AT ALL POINTS OF INTERSECTION.
- WHEN NECESSARY, WHICH SHALL BE DETERMINED BY THE BUYING AGENCY, PRIOR TO ENTRANCE ONTO A PUBLIC ROADWAY, WHEN DRAINAGE IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED.
- WHEN CONSTRUCTION WITH EROSION CONTROL MEASURES FROM BOTH THE STREET AND THE STABILIZED EXISTING, ALL EXISTING SILT, OR SILT WHICH HAS ACCUMULATED MUST BE REMOVED, EITHER BY ANTERIOR OR ANTERIOR USING APPROVED METHODS.
- THE EXIST SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PAVED SURFACES. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH NEW ROAD SURFAS AS CONDITIONS WARRANT. ALL SEDIMENT SPILLED, DISPERSED, WASHED, OR TRACKED ONTO PAVED SURFACES MUST BE REMOVED IMMEDIATELY.
- THE EXIST MUST BE PROPERLY GRADED OR INCORPORATE A SHOULDER SHALL BE PROPERLY MAINTAINED THROUGH THE CONSTRUCTION SITE.
- INSPECTION SHALL BE SPECIFIED IN THE SUPPER.

STABILIZED CONSTRUCTION	REVISED SPECIFICATION NUMBER	2023.11
GENERAL NOTES	DATE	AUG '23 107004



REVISIONS

DATE: 4/18/2024

BY: [Signature]

DESCRIPTION: [Description]

RLG CONSULTING ENGINEERS
1300 N. CENTRAL EXPRESSWAY #200 DALLAS, TX 75243
805 W. VICKERY ROADWAY #105 FORT WORTH, TX 76104
WWW.RLGCE.COM TYPE FIRM REG. F-463

EROSION CONTROL DETAILS

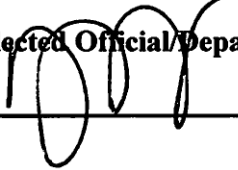
CLEBURNE RESIDENTIAL

1501 PARK BLVD
CLEBURNE, TX, 76033
JOHNSON COUNTY, TEXAS

REVIEW	DATE	FILE	NUMBER	SHEET
RLG	4/18/2024	2223	007	C09.09

AGENDA PLACEMENT FORM

(Submission Deadline – Monday, 5:00 PM before Regular Court Meetings)

Date: April 30, 2024
Meeting Date: May 13, 2024
Submitted By: Julie Edmiston
Department: Public Works
Signature of Elected Official/Department Head:


Court Decision:
This section to be completed by County Judge's Office



May 13, 2024

Description:
Consideration of Order 2024-43, Order Approving Infrastructure Development Plan for Villa De Mariposas, Manufactured Home Rental Community, by CRE-MPC Buffalo Creek Owner, LLC. in Precinct 1.

(May attach additional sheets if necessary)

Person to Present: Jennifer VanderLaan

(Presenter must be present for the item unless the item is on the Consent Agenda)

Supporting Documentation: (check one) PUBLIC CONFIDENTIAL

(PUBLIC documentation may be made available to the public prior to the Meeting)

Estimated Length of Presentation: 10 minutes

Session Requested: (check one)
 Action Item Consent Workshop Executive Other _____

Check All Departments That Have Been Notified:
 County Attorney IT Purchasing Auditor
 Personnel Public Works Facilities Management

Other Department/Official (list) _____

Please List All External Persons Who Need a Copy of Signed Documents In Your Submission Email